

**Notice of an Electronically Conducted  
Regular Meeting of the Charter Township of Union  
Planning Commission**

Notice is hereby given that the Charter Township of Union Planning Commission will conduct a regular meeting electronically on Tuesday, December 15, 2020 at 7:00 p.m., consistent with the emergency declarations and direction from state and county health officials to slow the spread of the COVID-19 virus and the Open Meetings Act (Public Act 267 of 1976, as amended)."

There will be no in-person attendance in the Township Hall Board Room (2010 S. Lincoln Rd., Mt. Pleasant, MI 48858), although some Planning Commission members and Township staff may choose to participate from this location.

All interested persons may attend and participate. The public may participate in the meeting by computer and smart phone using the following link to the electronic meeting location: <https://us02web.zoom.us/j/89751444718> (Meeting ID: "897 5144 4718" Passcode "038923"). The moderator will open public access to the electronic meeting space at 6:55 p.m.

To participate via telephone conference call, please call (312) 626-6799. Enter "897 5144 4718" and the "#" sign at the "Meeting ID" prompt. Lastly, re-enter the "#" sign again at the "Participant ID" prompt to join the meeting.

The meeting agenda, packet of materials relating to the meeting, and instructions for connecting to the meeting electronically are available on the Township's website under "Minutes and Board Packets" at <http://www.uniontownshipmi.com/>.

Questions and comments will be received during the public comment sections of the meeting. For participants accessing via computer or smartphone to indicate a desire to address the Planning Commission, please use the "Raise Your Hand" button at the bottom center of the screen. To raise your hand for telephone dial-in participants, press "star" and then the number "nine" (\*9). The Chair will call on you by the last three digits of your phone number to invite any comment, at which time you will be unmuted by the meeting moderator.

If there are a large number of participants, the Chair may choose to call on individuals by name or telephone number. Please speak clearly and provide your name and address before making your comments. Please note that the meeting moderator will control the muting and unmuting of participants during public comment.

Written comments to the Planning Commission may also be delivered to the drop box at the Township Hall. Comments received prior to 3:00 p.m. on the day of the meeting will be read aloud to the Planning Commission.

Persons with disabilities needing assistance to participate should call the Township office at (989) 772-4600. Persons requiring speech or hearing assistance may contact the Township through the Michigan Relay Center at 711. A minimum of one (1) business day of advance notice will be necessary for accommodation.

**Instructions to Participate in an Electronically Conducted  
Regular Meeting of the Charter Township of Union  
Planning Commission**

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**Raise Your Hand for Citizen Participation During the Public Comment Periods**

Questions and comments will be received during the public comment sections of the meeting. For participants accessing via computer or smartphone to indicate a desire to address the Planning Commission, please **click on the “Raise Your Hand” icon** near the bottom of your screen.



Click “Lower Hand” to lower it if needed. The host will be notified that you have raised your hand. The Mute/Unmute function will be controlled by the meeting moderator.

**To raise your hand for telephone dial-in participants, press “star” and then the number “nine” (\*9).** The Chair will call on you by the last three digits of your phone number to invite any comment, at which time you will be unmuted by the meeting moderator.

**Do I need to download the Zoom app to access the meeting?** No. Use of the Zoom app is recommended, but you will have options to “download & run Zoom” or “join from your browser” when you click on the link to join the meeting.

**Can I Use Bluetooth Headset?** Yes, if the Bluetooth device is compatible with the computer or mobile device that you are using.

**Do I have to have a webcam to join on Zoom?** While you are not required to have a webcam to join a Zoom Meeting, you will not be able to transmit video of yourself. You will continue to be able to listen and speak during public comment and view the webcam video of other participants.

**Leaving the Meeting:** Click the “Leave Meeting” link at the bottom right corner of the screen at any time to leave the meeting.



**Planning Commission**

**Regular Electronic Meeting. Instructions for access will be posted and available on website  
(uniontownshipmi.com) home page**

**December 15, 2020**

**7:00 p.m.**

1. CALL MEETING TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

4. APPROVAL OF MINUTES

-November 17, 2020

5. CORRESPONDENCE / BOARD REPORTS / PRESENTATIONS

A. Cody updates from Board of Trustees

B. Buckley updates from ZBA

6. APPROVAL OF AGENDA

7. PUBLIC COMMENT: Restricted to (3) minutes regarding items not on this agenda

8. NEW BUSINESS

**A. PSUP 20-02 (Malley Construction) Special Use Permit Application for a contractor's yard on the southeast corner of Packard St. and Airport Rd.**

a. Introduction

b. Public Hearing

c. Updates from the Applicant and Staff

d. Deliberation

e. Action (recommendation to the Board of Trustees)

**B. PSPR 20-15 (Malley Construction, 1565 Park Place) Preliminary Site Plan Application for a contractor's yard on the southeast corner of Packard St. and Airport Rd.**

a. Introduction

b. Updates from the Applicant and Staff

c. Deliberation

d. Action (approve, deny, approve with conditions)

**C. PSPR20-16 (Consumers Energy) Preliminary Site Plan Application for modernization of the "city gate" natural gas facility on the south side of E. Pickard Rd. west of S. Summerton Rd.**

- a. Introduction
- b. Updates from the Applicant and Staff
- c. Deliberation
- d. Action (approve, deny, approve with conditions)

**D. PSPR20-17 (Reals-Palmer LLC) Preliminary Site Plan Application for Biggby Coffee location on the north side of E. Pickard Rd. west of S. Summerton Rd.**

- a. Introduction
- b. Updates from the Applicant and Staff
- c. Deliberation
- d. Action (approve, deny, approve with conditions)

**E. Request for restoration of temporary relief from sidewalk construction for two (2) properties on Remus Rd. (Merchandise Outlet and Woodland Investments).**

- a. Introduction
- b. Updates from Staff
- c. Deliberation
- d. Action (approve, deny, approve with conditions)

9. OTHER BUSINESS

**A. Master Plan implementation**

**a. Continue discussion of action items.**

10. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue

11. FINAL BOARD COMMENT

12. ADJOURNMENT



## Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Lisa	Cody	11/20/2020
2-Chair	Phil	Squatrito	2/15/2023
3-Vice Chair	Ryan	Buckley	2/15/2022
4-Secretary	Alex	Fuller	2/15/2023
5-Vice Secretary	Mike	Darin	2/15/2022
6	Stan	Shingles	2/15/2021
7	Jessica	Lapp	2/15/2023
8	vacant seat		2/15/2021
9	Doug	LaBelle II	2/15/2022
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1- PC Rep	Ryan	Buckley	2/18/2021
2 - Chair	Andy	Theisen	12/31/2022
3 - Vice Chair	Liz	Presnell	12/31/2022
4 - Secretary	Taylor	Sheahan-Stahl	12/31/2021
5 - Vice Secretary	Judy	Lannen	12/31/2022
Alt. #1	Brandon	LaBelle	12/31/2022
Alt. #2	Jim	Engler	2/15/2021
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2022
2	vacant seat		12/31/2020
3	Bryan	Neyer	12/31/2022
Alt #1	Randy	Golden	12/31/2022
Citizens Task Force on Sustainability (4 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Don	Long	12/31/2020
2	Mike	Lyon	12/31/2020
3	vacant seat		12/31/2018
4-BOT Representative	vacant seat		11/20/2020
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herron	12/31/2021
2	Richard	Jakubiec	12/31/2021
3	Andy	Theisen	12/31/2021
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2022
2	John	Dinse	12/31/2021
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2023
2	Lynn	Laskowsky	12/31/2021



## Board Expiration Dates

EDA Board Members (11 Members) 4 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative			11/202024
2	Thomas	Kequom	4/14/2023
3	James	Zalud	4/14/2023
4	Richard	Barz	2/13/2021
5	Robert	Bacon	1/13/2023
6	Marty	Figg	6/22/2022
7	Sarvjit	Chowdhary	1/20/2022
8	Cheryl	Hunter	6/22/2023
9	Vance	Johnson	2/13/2021
10	Michael	Smith	2/13/2021
11	David	Coyne	3/26/2022
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2022
2	Vacant		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Robert	Sommerville	12/31/2022
Sidewalks and Pathways Prioritization Committee (2 year term -PC Appointments)			
#	F Name	L Name	Expiration Date
1 - BOT Representative	Kimberly	Rice	11/20/2020
2 - PC Representative	Mike	Darin	8/15/2022
3 - Township Resident	Matt	Mertz	8/15/2021
4 - Township Resident	Jeremy	MacDonald	10/17/2022
5 - Member at large	vacant seat		8/15/2021

**CHARTER TOWNSHIP OF UNION**  
**Planning Commission**  
**Regular - Electronic Meeting Minutes**

A regular-electric meeting of the Charter Township of Union Planning Commission was held on November 17, 2020 as a virtual meeting through the Zoom meeting platform.

**Meeting was called to order at 7:04 p.m.**

**Roll Call**

Present: Darin, Fuller, LaBelle, Shingles, Squattrito, and Thering

Excused: Buckley and Clerk Cody

**Others Present**

Rodney Nanney, Community and Economic Development Director; Zoning Administrator, Peter Gallinat, and Administrative Assistant, Jennifer Loveberry

**Approval of Minutes**

**LaBelle** moved **Thering** supported the approval of the October 20, 2020 regular meeting as presented. **Vote: Ayes: 6 Nays: 0. Motion carried.**

**Correspondence / Reports/ Presentations**

A. Board of Trustees – Newly elected board’s term starts 11/20/20 at noon

B. Annual Report from the ZBA

**Thering** moved **Shingles** supported to approve the annual written report from the ZBA as presented and have Township staff forward report to the Planning Commission. **Vote: Ayes: 6 Nays: 0. Motion Carried.**

**Approval of Agenda**

**Fuller** moved **Darin** supported to approve the Agenda as presented. **Vote: Ayes: 6 Nays: 0. Motion Carried.**

**Public Comment**

Open 7:10 p.m.

No comments were offered.

Closed 7:11 p.m.

**New Business**

- A. PREZ 20-03 (Grayling Investors) Application to rezone the northern 465 feet of PID 14-026-20-001-06 on the SW corner of E. Broomfield Rd. and S. Isabella Rd. from the B-4 (General Business) to the B-5 (Highway Business) District**
- a. Introduction**
  - b. Public Hearing**
  - c. Updates from the Applicant and Staff**
  - d. Deliberation**
  - e. Action (recommendation to the Board of Trustees)**

Community and Economic Development Director introduced PREZ 20-03 Request to rezone a parcel that is currently split zoned B-4/B-5 to the B-5 (Highway Business) District, which would accommodate the development of a restaurant with drive through service. The Director emphasized the Commission's responsibility to evaluate the application based on the criteria outlined in Section 14.5.G of the Zoning Ordinance and to include relevant findings of fact and conclusions in any recommendations to the Board of Trustees.

#### Public Hearing

Open: 7:16 p.m.

No correspondence received by Township Staff.

No comments were offered.

Closed: 7:18 p.m.

Applicants Richard Jaskowski and Sara Ross updated the commissioners and were available for questions.

Motion by **LaBelle**, supported by **Fuller**, to recommend to the Township Board of Trustees that the PREZ 20-03 Zoning Map Amendment to rezone the northern 465 feet of PID 14-026-20-001-06 from the B-4 (General Business) to the B-5 (Highway Business) District be adopted based on the following findings and conclusions:

1. The setbacks for both districts are equal. The subject parcel meets the required lot dimension standards for both a B-4 and B-5 parcel.
2. A parcel that is split-zoned in two different business districts can create obstacles for development as to where a use can go or if a use is allowed at all.
3. The subject site is located on the northern edge of the Bluegrass Center Area as defined on the Future Land Use Map. The Bluegrass Center Area Plan also encourages mixed use developments, with first floor retail/office/entertainment/restaurant venues and residential units on upper floors, as the intended predominate uses, especially in the core of this area along E. Bluegrass Rd.
4. Nearly all of the core of the Bluegrass Center Area is currently zoned B-5 (Highway Business).
5. The full range of allowable uses in the proposed B-5 District include auto-oriented activities that are not fully consistent with the Bluegrass Center Area Plan, but the proposed rezoning should be adopted based on the following information that supports a change without a need to amend the Master Plan:
  - a. The timing of adoption of the new Zoning Ordinance No. 20-06, which disallowed drive-through restaurants in the B-4 (General Business) District, is a relevant fact to consider with regards to this requested zoning change.
  - b. Although the applicant failed to submit their final site plan application while Zoning Ordinance No. 1991-5 was in effect, the SUP 2019-06 special use permit for a filling station was approved and the previous SPR 2019-12 preliminary site plan for a filling station and restaurant

with drive-through facilities did receive an initial informal review under the former Zoning Ordinance, which allowed these land uses in both zoning districts.

6. Based on trends in the area, availability of public infrastructure, the timing of this rezoning proposal is appropriate for consideration.

7. This amendment will not create any special privilege, result in unlawful exclusionary zoning or set an inappropriate precedent. No adverse impacts are anticipated by the proposed rezoning or development of the lot consistent with Zoning Ordinance requirements.

**Roll Call Vote: Ayes: Darin, LaBelle, Fuller, Shingles, Squattrito, and Thering Nays: 0. Motion Carried.**

**B. Approve the 2021 Meeting Schedule**

**a. The Sidewalks and Pathways Prioritization Committee – schedule joint meeting during the regular January Planning Commission meeting?**

**Shingles** moved **Thering** supported to approve the schedule of regular meetings of the Planning Commission for the 2021 calendar year to take place at 7:00 p.m. on the third Tuesday of each month in accordance with the requirements of the Open Meetings Act and approved scheduling a joint meeting with the Sidewalks and Pathways Prioritization Committee by inviting them to the January 19, 2021 Planning Commission meeting. **Roll Call Vote: Ayes: Darin, LaBelle, Fuller, Shingles, Squattrito, and Thering Nays: 0. Motion Carried.**

**C. Approve the 2020 Annual Report to the Board of Trustees**

**Shingles** moved **Thering** supported to approve the Planning Commission Annual Report for 2020 and authorize staff to forward the report to the Board of Trustees. **Roll Call Vote: Ayes: Darin, LaBelle, Fuller, Shingles, Squattrito, and Thering Nays: 0. Motion Carried.**

**Other Business**

**A. Master Plan implementation**

**a. Continue discussion of action items: Water Quality, Industrial Districts, Code Enforcement, and Capital Improvements Program**

**b. Understanding the Problem – Housing Handout**

The commission continued their discussion and evaluation of Mater Plan implementation priorities. Tonight’s continued discussion focused on the Union Township Master Plan Housing section and the Understanding the Problem – Housing Handout.

**Extended Public Comment**

Open –8:36 p.m.

No comments were offered.

Closed – 8:36 p.m.

**Final Board Comment**

Squattrito – Thank you to James Thering for his service to the Planning Commission and congratulations on his newly elected position to the Board of Trustees.

Thering – Shared to the commission that the planning commission has been a positive and eye-opening opportunity. Thanked the commissioners for the time he spent being part of the Planning Commission.

**Adjournment** – Chairman Squattrito adjourned the meeting at 8:39 p.m.

**APPROVED BY:**

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Alex Fuller - Secretary  
Mike Darin – Vice Secretary

*(Recorded by Jennifer Loveberry)*

DRAFT

**SPECIAL USE PERMIT REPORT**

<b>TO:</b>	Planning Commission	<b>DATE:</b>	December 8, 2020
<b>FROM:</b>	Peter Gallinat, Zoning Administrator	<b>ZONING:</b>	I-1 Industrial District
<b>PROJECT:</b>	PSUP20-02 Preliminary Special Use Permit Application for Contractors Yard. Expansion of Malley Construction.		
<b>PARCEL(S):</b>	PID 14-011-30-001-07, 14-011-40-002-00		
<b>OWNER(S):</b>	Malley Bradley J & Denise R		
<b>LOCATION:</b>	Approximately 8.59 acres on the south side of East Airport Road and east of Packard Rd. in the SW 1/4 of Section 11.		
<b>EXISTING USE:</b>	Existing storage building.	<b>ADJACENT ZONING:</b>	I-1,
<b>FUTURE LAND USE DESIGNATION:</b>	<i>Industrial/Employment.</i> This category promotes traditional industrial employment. Located near regional nodes with convenient access to interchanges, this district provides an opportunity to diversify the industrial employment base of the township by reserving areas for research, development, technology, and corporate offices or campuses. Types of industries may include automotive, electronics, alternative energy technologies, computers, communications, information technology, chemical or biomedical engineering.		
<b>ACTION REQUESTED:</b>	To hold a public hearing, review, and make recommendations to the Board of Trustees on the special use permit application for a Contractor’s Yard per Section 14.3.J. (Standards for Special Use Approval).		

**Background Information**

Malley Construction is proposing a Contractor’s Yard located east of Packard St. This is an expansion of the business currently conducted at 1565 S. Park Place. A Contractor’s yard is defined as a site on which a building or construction contractor stores equipment, tools, vehicles, building materials, and other appurtenances used in or associated with building or construction. A contractor's yard may include outdoor or indoor storage, or a combination of both. A Contractors Yard is a special use in the I-1 Light Industrial District. The project includes:

- Construction of a gravel parking lot for outdoor storage of construction materials.
- Use of existing building on site for indoor storage of construction materials.
- Installation of screening along Airport Rd.

**Review Comments**

Section 14.03J. of the Zoning Ordinance establishes the standards for special use approval.

Special use permit approval is subject to a Planning Commission public hearing and recommendation to the Board of Trustees. The Board of Trustees retains final authority to approve or deny any special use permit. The Planning Commission's recommendation should include "*affirmative findings of fact and records adequate data, information, and evidence*" to support a conclusion that the proposed special use conforms to the standards of Section 14.03.J.

Each of the seven (7) standards from this Section are listed below in bold printed text. Staff review comments follow under each standard:

**1. The proposed land use is identified in Section 3 as a special use in the zoning district.**

The proposed use conforms to this standard. A Contractor's Yard is listed as a Special Use for the I-1 Light Industrial district (Section 3.16).

**2. The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of traffic, noise, vibration, smoke, fumes, odors, dust, glare, light, drainage, pollution or other adverse impacts.**

The proposed use conforms to this standard. The proposed Contractor's Yard on the east side of Packard Street is an expansion of an existing business on the west side of this street. The expansion of contractor's equipment and materials storage and activity at the proposed location is not anticipated to significantly increase environmental impacts beyond that of the existing facility. The scope of activity associated with the proposed use is not anticipated to adversely impact or be injurious to the environment or the public health, safety or general welfare.

**3. The special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Where determined necessary by the Planning Commission or Township Board, the applicant has provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts.**

The proposed use can conform to this standard, subject to confirmation of compliance with all applicable Township ordinances as part of the required preliminary and final site plan approvals for this development. The screening required by Section 10 of Zoning Ordinance No. 20-06 will enhance the beautification of the area. This will make the area more attractive to future development of Industrial uses.

**4. The special use location and character is consistent with the general principles, goals, objectives, and policies of the adopted Master Plan.**

The proposed use conforms to this standard. A Contractor's Yard would be traditional industrial employment and thus meets the objectives of the Master Plan.

**5. The proposed special use conforms to all applicable requirements or standards of this Ordinance or other Township ordinances.**



The proposed use can conform to this standard, subject to confirmation of compliance with all applicable Township ordinances as part of the required preliminary and final site plan approvals for this development. The development of the Contractor's Yard in the I-1 district will be subject to applicable site development and other Zoning Ordinance requirements, including Section 6.31 (Outdoor Storage, General).

The proposed use is also subject to the applicable standards of other Township ordinances, including the Private Road Ordinance No. 2000-09. Packard Street south of Corporate Dr. is a public road under the City of Mt. Pleasant's jurisdiction, but the section of Packard St. north of Corporate Dr. to E. Airport Rd. is a private road under the Township's jurisdiction.

The proposed closure of the northern portion of Packard Street is not in conformance with the Township's Private Road Ordinance, which does not include any option for closure or gating of an approved private road. The proposed closure is also not in conformance with the Ord. No. 2000-09 requirement that, "*All properties served by the private road shall provide adequate access for emergency vehicles.*" Closure of this section of Packard St. would cause emergency vehicles to be required to undertake a circuitous alternative route to access properties on E. Airport Rd., significantly lengthening the response time and potentially endangering the public health, safety, and welfare of residents, workers, and others in the area.

To be consistent with this standard, any special use permit approval recommendation for the proposed use should include a recommended condition that the closure of Packard St. be removed from the site plan.

**6. Approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.**

The proposed use conforms to this standard. The surrounding land is planned for Industrial/Employment land uses and zoned I-1, Light Industrial District. This includes land on the north side of E. Airport Rd., where there are several legal nonconforming single-family residential dwellings.

**7. The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to roads, police and fire protection services, refuse disposal, municipal water or sewerage systems, other utilities, drainage facilities, and public or private wells. The proposed use will not create additional requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community.**

The proposed use can conform to this standard. The proposed use is not anticipated to adversely impact the capacity of available public services, provided that the closure of Packard St. be removed from the site plan.

### **Objective**

Following the hearing, the Planning Commission shall review the application materials, together with any reports and recommendations, and any public comments. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to recommend to the Township Board approval, approval with conditions, or denial of the special use permit application, or to postpone further consideration of the application to a date certain in accordance with the provisions of Section 14.3.F.4.

### **Key Findings**

1. A Contractor's Yard is listed as a Special Use for the I-1 Light Industrial district.
2. The expansion of contractor's equipment and materials storage and activity at the proposed location is not anticipated to significantly increase environmental impacts beyond that of the existing facility.
3. The proposed use is consistent with the Master Plan's future land use designation for this site
4. The proposed closure of the northern portion of Packard Street, as depicted on the preliminary site plan, is not in conformance with the Township's Private Road Ordinance.

### **Recommendations**

Based on the above findings, I would ask that the Planning Commission consider taking action to recommend approval of Special Use Application PSUP 20-02, subject to the following conditions:

1. The proposed closure of Packard St. shall be removed from the site plan for the Contractor Yard development.
2. A final site plan is approved for the proposed special use PSUP 20-02 development.

Please contact me at (989) 772-4600 ext. 241, or via email at [pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com), with any questions about this information.

Respectfully submitted,

***Peter Gallinat, Zoning Administrator***

Community and Economic Development Department

# Charter Township of Union

## APPLICATION FOR SPECIAL USE PERMIT APPROVAL

A completed application will contain all information required per the Zoning Ordinance, Section 14.3 (Special Use Permits); and be accompanied by a separate minor site plan or preliminary site plan application per Section 14.02.C. (Site Plan Approval Required).

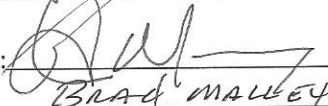

Minor Site Plan  
 Preliminary Site Plan

Name of Proposed Development/Project \_\_\_\_\_  
 Common Description of Property & Address (if issued) 4600 E. Airport Rd

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Applicant's Name(s) Brad Malley  
 Phone/Fax numbers 989 772 2765 Email bmcddmalley@gmail.com  
 Address 1565 S. Park Place St. City: Mt Pleasant Zip: 48858

Legal Description:  Attached  Included on Site Plan Tax Parcel ID Number(s): 14-011-30-001-07  
 Existing Zoning: \_\_\_\_\_ Land Acreage: \_\_\_\_\_ Existing Use(s): \_\_\_\_\_  
 ATTACHED: Letter describing the proposed use and how it conforms to Section 14.3.J. (Standards for Special Use Approval)

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: <u>Schufour / Chris Schufer</u> Phone: <u>989 560 0642</u> Email: <u>Chris.Schufour@outlook.com</u> 2. Address: _____ City: _____ State: <u>MI</u> Zip: _____ Contact Person: <u>Chris Schufer</u> Phone _____
Legal Owner(s) of Property.  All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: <u>Brad Malley</u> Phone: <u>989 772 2765</u> Address: <u>1531 N. Lincoln Rd</u> City: <u>Mt Pleasant</u> State: <u>MI MI</u> Zip: <u>48858</u> Signature:  Interest in Property: <u>owner/lessee/other</u> 2. Name: <u>BRAD MALLEY</u> Phone: <u>989-772-2765</u> Address: <u>1531 N. Lincoln Rd</u> City: <u>Mt Pleasant MI</u> State: <u>MI</u> Zip: <u>48858</u> Signature:  Interest in Property: <u>owner/lessee/other</u>

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information may be cause for revocation of the special use permit approval. Approval of the requested special use shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

  
 \_\_\_\_\_  
 Signature of Applicant Date 11/19/20

Office Use Only

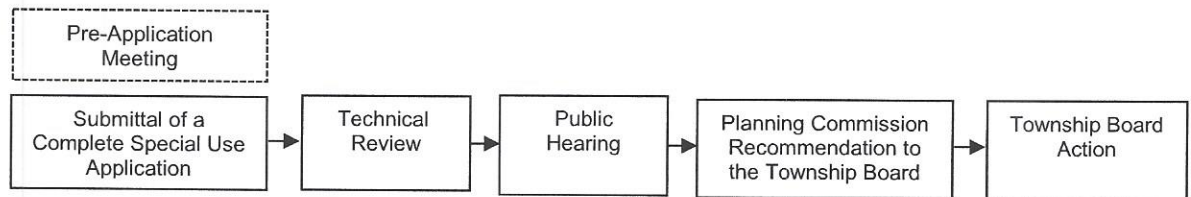
Application Received By: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Date Received: \_\_\_\_\_ Escrow Deposit Paid: \$ \_\_\_\_\_

**Section 14.3 Special Use Permits (excerpts)**

**E. Application Information.**

The following minimum information shall be required with any application for special use permit approval:

1. The name, address, and contact information for the applicant, and the applicant's legal interest in the property. If the applicant is not the owner, the name, address, and contact information for the owner(s) and the signed consent of the owner(s) shall also be required.
2. Signature(s) of the applicant(s) and owner(s), certifying the accuracy of the information.
3. A legal description of the property, including street address(es) and tax code number(s).
4. A detailed description of the proposed use.
5. Supporting statements, evidence, data, information, and exhibits that address the standards and requirements of this Section and Ordinance that apply to the proposed use, applicable requirements and standards of this Ordinance or other Township ordinances, including standards for special use approval in Subsection 14.3(J).
6. A survey drawing or plan view of the subject property drawn to a standard engineer's scale and correlated with the legal description and clearly showing the property's location, lot boundaries, road rights-of-way, easements, existing structures, fences, and other improvements. Where required per Section 14.2, a site plan shall satisfy this requirement.
7. Any other information determined necessary by the Township Planner, Planning Commission or Township Board to verify compliance with this Ordinance or other Township ordinances.



**Special Use Review Process**

**J. Standards for Special Use Approval.** No special use permit shall be granted unless the Township Board makes affirmative findings of fact and records adequate data, information, and evidence showing that:

1. The proposed land use is identified in Section 3 as a special use in the zoning district.
2. The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of traffic, noise, vibration, smoke, fumes, odors, dust, glare, light, drainage, pollution or other adverse impacts.
3. The special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Where determined necessary by the Planning Commission or Township Board, the applicant has provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts.
4. The special use location and character is consistent with the general principles, goals, objectives, and policies of the adopted Master Plan.
5. The proposed special use conforms to all applicable requirements or standards of this Ordinance or other Township ordinances.
6. Approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.
7. The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to roads, police and fire protection services, refuse disposal, municipal water or sewerage systems, other utilities, drainage facilities, and public or private wells. The proposed use will not create additional requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community.



**Draft Motions: PSUP 20-02 Malley Construction  
Contractor's Yard Special Use Permit Application**

**MOTION TO RECOMMEND APPROVAL:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to recommend to the Township Board of Trustees to approve the PSUP 20-02 special use permit application from Malley Construction for a Contractor's Yard on approximately 8.59 acres of land (parcel numbers 14-011-30-001-07 and 14-011-40-002-00) on the south side of East Airport Road and east of Packard St. in the southwest quarter of Section 11 and in the I-1 (Light Industrial) zoning district, finding that it fully complies with Section 14.3.J. (Standards for Special Use Approval).

**MOTION TO RECOMMEND APPROVAL WITH CONDITIONS:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to recommend to the Township Board of Trustees to approve the PSUP 20-02 special use permit application from Malley Construction for a Contractor's Yard on approximately 8.59 acres of land (parcel numbers 14-011-30-001-07 and 14-011-40-002-00) on the south side of East Airport Road and east of Packard St. in the southwest quarter of Section 11 and in the I-1 (Light Industrial) zoning district, finding that it can comply with Section 14.3.J. (Standards for Special Use Approval), subject to the following conditions:

1. The proposed closure of Packard St. shall be removed from the site plan for the Contractor Yard development.
  2. A final site plan is approved for the proposed special use PSUP 20-02 development.
- 
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**MOTION TO RECOMMEND DENIAL:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to recommend to the Township Board of Trustees to deny the PSUP 20-02 special use permit application from Malley Construction for a Contractor's Yard on approximately 8.59 acres of land (parcel numbers 14-011-30-001-07 and 14-011-40-002-00) on the south side of East Airport Road and east of Packard St. in the southwest quarter of Section 11 and in the I-1 (Light Industrial) zoning district, finding that it does not comply with Section 14.3.J. (Standards for Special Use Approval), for the following reasons:

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**MOTION TO POSTPONE ACTION:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to postpone action on the PSUP 20-02 special use permit application from Malley Construction for a Contractor's Yard on approximately 8.59 acres of land (parcel numbers 14-011-30-001-07 and 14-011-40-002-00) until \_\_\_\_\_, 2021 for the following reasons:

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**SITE PLAN REPORT**

<b>TO:</b>	Planning Commission	<b>DATE:</b>	December 8, 2020
<b>FROM:</b>	Peter Gallinat, Zoning Administrator	<b>ZONING:</b>	I-1 Industrial District
<b>PROJECT:</b>	PSPR 20-15 Preliminary Site Plan Approval Application for Contractors Yard. Expansion of Malley Construction		
<b>PARCEL(S):</b>	PID 14-011-30-001-07, 14-011-40-002-00		
<b>OWNER(S):</b>	Malley Bradley J & Denise R		
<b>LOCATION:</b>	Approximately 8.59 acres on the south side of East Airport Road and east of Packard Rd. in the SW 1/4 of Section 11.		
<b>EXISTING USE:</b>	Existing storage building.	<b>ADJACENT ZONING:</b>	I-1
<b>FUTURE LAND USE DESIGNATION:</b>	<i>Industrial/Employment.</i> This category promotes traditional industrial employment. Located near regional nodes with convenient access to interchanges, this district provides an opportunity to diversify the industrial employment base of the township by reserving areas for research, development, technology, and corporate offices or campuses. Types of industries may include automotive, electronics, alternative energy technologies, computers, communications, information technology, chemical or biomedical engineering.		
<b>ACTION REQUESTED:</b>	To review and take action to approve, deny, or approve with conditions the PSPR 20-15 preliminary site plan dated November 19, 2020 for the Malley Construction Contractors Yard.		

**Review Comments**

Malley Construction is proposing a Contractor’s Yard located east of Packard St. This is an expansion of the business currently conducted at 1565 S. Park Place. The following review comments are based on the applicable Ordinance requirements, including Section 6.32 (Outdoor Storage, General), Section 14.2.P. (Required Site Plan information), and the standards for preliminary site plan approval found in Section 14.2.S. of the new Zoning Ordinance:

1. **14.2.P. – Site plan Information Requirements. The following items of required preliminary site plan information are missing:**
  - Show the 66-foot-wide Packard Street private road right-of-way required per Section II.2.a. of the Private Road Ordinance on the site plan.
  - Add the delineation of the minimum 75-foot-wide front yard setback from the Packard St. right-of-way line to the site plan as required for the I-1 zoning district.
  - Add the ground floor area, height, and a description of the anticipated use of the existing building to remain on-site to the site plan.

2. **Section 3.16. – Setbacks.**

The site plan displays required setback information for the I-1 district.

3. **Section 8.1. – Environmental Performance Standards.**

The application documentation indicates that no hazardous materials will be stored on the lot storage of hazardous waste. Per Section 6.31. (Outdoor Storage, General), the following requirements will apply to the use of this lot as a Contractor’s Yard:

- a. *Materials that might generate fumes, odors, or dust, cause a fire hazard, or attract rodents or insects shall be stored in closed containers.*
- b. *Outdoor storage of materials that might cause a fire hazard shall be subject to approval by the Fire Chief.*
- c. *Materials, particularly waste materials, shall not be allowed to accumulate on the site in such a manner as to be unsightly, constitute a fire hazard, or contribute to unsanitary conditions.*
- d. *Materials and waste must be secured to prevent wind-blown debris off the premises.*

4. **Section 9.1. – Parking.**

Per Section 9.2.G., a minimum of one (1) parking space per employee is required for a contractor’s yard. Parking spaces shall satisfy the requirements of Section 9.3 (Parking Layout and Construction). However, a note on the site plan states that, “No employees will be required on site.” Sufficient existing employee parking is available on the current Malley Construction parcel west of Packard St.

Staff would have no objection from a planning perspective to Commission approval of the preliminary site plan with the parking arrangement as presented, provided that the use of the property remains exclusively for equipment storage.

5. **Section 9.5 – Loading Space.**

The size of any required loading space shall be based on the types of delivery vehicles typically utilized by the establishment, provided that in industrial districts sufficient land area must be available to provide a 10 foot by 50-foot space if the use of the property changes. Currently the gravel lot is large enough to satisfy loading space for the site.

6. **Section 9.6 – Access Management.**

The project as proposed calls for the closure of a portion of the Packard St. private road to allow for the connection of the new site with the existing site on the west side of Packard St. at 1565 S. Park Place. Township Staff does not support this connection due to health and safety concerns regarding first responders’ direct access from E. Pickard Road to E. Airport Rd., and because of the proposed closure’s noncompliance with the requirements and standards of the Township’s Private Road Ordinance No. 2000-09.

**The following access-related details will need to be addressed on the final site plan:**

- Remove the proposed closure of Packard St. from the site plan.
- Show an access point on the site plan from either E. Airport Road or Packard St.

7. **Section 7.10 Sidewalks and Pathways.**

Public sidewalks along the frontage of the development within the adjacent road rights-of-way are required per the Township's Sidewalk and Pathway Ordinance, unless temporary relief has been specifically requested on the site plan from this requirement per the Township's established policy for timing of sidewalk installations. The plan shows a portion of sidewalk 5 feet in width located on E. Airport Road, but not along the entire width of the property. No sidewalks are shown on Packard St. **The following sidewalk-related details need to be addressed by the applicant on a revised site plan:**

- a. Add a proposed five-foot sidewalk along Packard St. and the entirety of the parcel along E. Airport Rd. one foot inside of the road rights-of-way, along with the necessary design and construction details consistent with the Township's Sidewalk and Pathway Ordinance.
- b. If temporary relief from sidewalk construction is requested in a note added to the updated site plan, note all of the following criteria for relief that apply to the request per the Township's established policy for the timing of sidewalk construction:
  - i. The development is located on a property zoned industrial.
  - ii. The development is located on property with road frontage where no car-pedestrian injury or fatality, due to the need of the pedestrian to walk in the roadway, has occurred for a distance of 1 mile in either direction of the development. A car-pedestrian accident within 1 mile of area provided relief from building the sidewalk will require sidewalk construction within 1 year.
  - iii. Less than 50% of the surveyed sections of the township along the road fronting the proposed development has sidewalks. If on a corner lot, the mile will extend in both directions along the frontage roads. Once the threshold has been met all parcels will be required to construct sidewalks within 1 year.
  - iv. If the cost of the sidewalk construction exceeds more than 50% of the total cost of the project.
- c. If requested by the applicant on the final site plan, staff would have no objection from a planning perspective to a Commission determination that temporary relief from sidewalk construction is warranted for this project at this time, based on the Township's policies.

8. **Section 8.2. – Exterior Lighting.**

No exterior lighting is proposed. Any new or altered exterior lighting must conform to Section 8.2 (Exterior Lighting) standards and be detailed on the final site plan.

9. **Section 7.6 – Fencing.**

A six-foot chain-link fence is proposed around the property. Site plan notes the chain link fence will be vinyl coated to comply with Section 6.31.A. (Enclosure) requirements. The following fence detail will need to be addressed on the final site plan:

- The fence location near the intersection of Packard St. and E. Airport Rd. must comply with Section 4.6 (Clear Vision Triangle) standards.



10. **Section 10.2.B –Landscaping and Screening.**

A detailed landscape plan is not required until the final site plan stage, but the applicant has added conceptual landscaping showing a proposed tree-row along E. Airport Rd.

Per the requirements of Section 10 (Landscaping and Screening), all unpaved portions of the site shall be planted with grass, ground cover, shrubbery, or other suitable live plant material, except where specific landscape elements, such as a greenbelt, berms, or screening are required. Such plant material shall extend to the edge of any abutting paved area, roadway, or gravel shoulder, except that trees and shrubs shall be set back a minimum of ten (10) feet from the edge of any uncurbed paved area, roadway, or gravel shoulder. Grass areas in the front yard of all non-residential uses shall be planted with sod or hydroseeded.

The following is a summary of the minimum landscaping and screening requirements that apply to the 786 feet of frontage along E. Airport Road and 274 feet of frontage on Packard St. Any adjustments to meet minimum requirements for both road frontages will need to be addressed by the applicant on the final site plan:

- a. *1 deciduous street tree is required per 40 feet of road frontage. 20 required and 40 are proposed.*
- b. *1 ornamental tree is required per 100 feet of road frontage. 8 are required and 6 are proposed.*
- c. *8 shrubs are required per 40 lineal feet of road frontage. 20 are required and 21 are proposed.*
- d. *7 deciduous street trees, 2 ornamental trees, and 7 shrubs will be required along Packard Rd. Currently none are proposed.*

11. **Outside agency approvals**

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval. This plan requires outside agency approval from the Mt. Pleasant Fire Department, Isabella County Transportation Commission, Isabella County Drain Office, Isabella County Road Commission, and the Township’s Public Services Department.

**Objective**

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

**Key Findings**

1. The proposed project expands an existing business and utilizes otherwise vacant

industrial property.

2. A closure of Packard St. is not supported due to health and safety of first responders' direct access from E. Pickard Road to E. Airport Rd., and because of the proposed closure's noncompliance with the Private Road Ordinance No. 2000-09.
3. The site plan is missing several items of required preliminary site plan information but is sufficiently complete for Planning Commission review.
4. The site plan as presented does not conform to the following standards for preliminary site plan approval found in Section 14.2.S. (Standards for Site Plan Approval):
  - *The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.*
5. If updated consistent with the details noted in this report, a revised preliminary site plan can fully conform to Section 14.2.S. (Standards for Site Plan Approval).

### **Recommendations**

Based on the above findings, I would ask that the Planning Commission consider taking action to approve preliminary site plan PSPR 20-15, subject to the following conditions:

1. Remove the proposed closure of Packard St. from the final site plan for the project.
2. Provide all items of required information on the final site plan per Section 14.2.P.
3. Preliminary site plan approval is contingent upon Board of Trustees final approval of the PSUP2 20-02 Contractor's Yard special use permit for this project.

Please contact me at (989) 772-4600 ext. 241, or via email at [pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com), with any questions about this information.

Respectfully submitted,

***Peter Gallinat, Zoning Administrator***

Community and Economic Development Department

**Charter Township of Union**

**APPLICATION FOR SITE PLAN REVIEW**

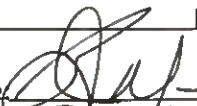


Minor Site Plan     
  Preliminary Site Plan     
  Final Site Plan

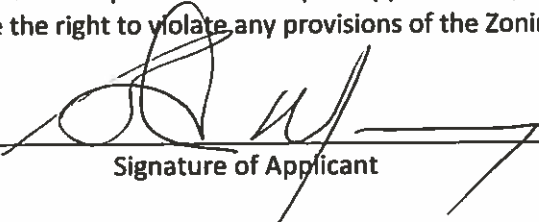
A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project <u>Malley Construction Yard Expansion</u>	
Common Description of Property & Address (if issued) <u>See site plan</u>	
Applicant's Name(s) <u>Brad Malley - Malley Construction</u>	
Phone/Fax numbers <u>989-772-2765</u>	Email <u>bmcddmalley@gmail.com</u>
Address <u>1565 South Parkplace</u>	City: <u>Mt. Pleasant</u> Zip: <u>48858</u>

Legal Description: <input type="checkbox"/> Attached <input checked="" type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s): <u>on site plan</u>
Existing Zoning: <u>I-1</u> Land Acreage: <u>8.59</u> Existing Use(s): <u>vacant</u>	
<b>ATTACHED: Letter describing the project and how it conforms to Section 14.2.S. (Standards for Site Plan Approval)</b>	

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: <u>SchaFour Surveying &amp; Engineering</u> Phone: <u>989-560-0642</u> Email: <u>is.schafour@outlook.ca</u> 2. Address: <u>1750 Plainfield Road</u> City: <u>Mt. Pleasant</u> State: <u>MI</u> Zip: <u>48858</u> Contact Person: <u>Chris Schafer, PE, PS</u> Phone <u>989-560-0642</u>
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: <u>Brad Malley</u> Phone: <u>989-772-2765</u> Address: <u>1565 South Parkplace</u> City: <u>Mt. Pleasant</u> State: <u>MI</u> Zip: <u>48858</u> Signature:  Interest in Property: <u>owner/lessee/other</u> 2. Name: <u>Brad Malley</u> Phone: _____ Address: <u>1565 Park Place</u> City: <u>Mt Pleasant MI</u> State: <u>MI</u> Zip: <u>48858</u> Signature: _____ Interest in Property: <u>owner/lessee/other</u>

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

 \_\_\_\_\_  
 Signature of Applicant

10/29/2020  
 Date

**Office Use Only**

Application Received By: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Date Received: \_\_\_\_\_ Escrow Deposit Paid: \$ \_\_\_\_\_

## **Preliminary Site Plan Review Procedure**

Each preliminary site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

### **Effect of Preliminary Site Plan Approval**

Approval of a preliminary site plan by the Planning Commission shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas in accordance with the standards for preliminary site plan approval specified in subsection 14.2(S). The Planning Commission may, at its discretion and with appropriate conditions attached, authorize limited work to begin for soils exploration, incidental site clearing, and other preliminary site work as specified in the authorization.

## **Outside Agency Approvals**

The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval.

## **Final Site Plan Review Procedure**

Each final site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee and any required escrow deposit, one (1) large (up to 24-inch by 36-inch maximum) printed site plan set, and eleven (11) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and reduced 11-inch by 17-inch site plan sets at the Township Hall.

### **Effect of Final Site Plan Approval**

Approval of a final site plan by the Planning Commission constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.

## **Minor Site Plan Review Procedure**

A minor site plan application shall be made by filing one (1) completed and signed copy of the required application form, the required fee, and two (2) paper copies and one (1) digital copy in .PDF format of the complete set of application materials and site plans, at a maximum sheet size of 11 inches by 17 inches, at the Township Hall. The Zoning Administrator shall review the application materials and site plan for completeness, accuracy, and compliance with all applicable requirements and standards of this Ordinance and other Township ordinances.

The minor site plan shall be approved by the Zoning Administrator upon determination that all required information for the type of site plan has been provided per subsection 14.2(P), the site plan satisfies the applicable standards for site plan approval per subsection 14.2(S); and the site plan conforms to all other applicable requirements and standards of this Ordinance and other Township ordinances.

# CHARTER TOWNSHIP OF UNION

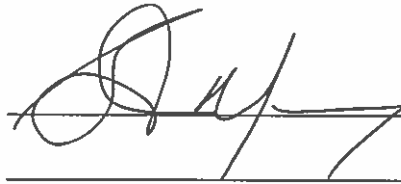
## SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: MALLEY CONSTRUCTION  
Name of business owner(s): BRAD MALLEY  
Street and mailing address: 1565 PARK PLACE  
M+PLEASANT NY 11858  
Telephone: 989-772-2265  
Fax: 989-546-4455  
Email: BRAD.MALLEY@GMAIL.COM

**I affirm that the information submitted is accurate.**

Owner(s) signature and date:

 10/29/2020

Information compiled by:

\_\_\_\_\_  
\_\_\_\_\_



**Section 14.2 Site Plan Review (excerpts)**

**A. Purpose and Scope.**

The purposes of this Section are to establish uniform requirements of procedure for review of site plans for new development in the Township; to confirm compliance with this Ordinance and other Township ordinances prior to the start of construction; and to ensure that development in the Township is consistent with the adopted policies of the Township's Master Plan.

**B. Authority.**

Flexible standards have been established to ensure that the type of review and amount of required information is proportional to the project's scale and intensity. The Planning Commission shall have the authority to review and take action on preliminary site plan and final site plan applications and the Zoning Administrator shall have authority to review and take action on minor site plan applications, all in accordance with this Section and Ordinance.

1. Preliminary site plan. Requirements for a preliminary site plan are intended to allow for review of the general character of the proposed use(s), general site layout, and location of structures and other site improvements; and to confirm that the overall development can conform to Ordinance requirements.
2. Final site plan. A final site plan is a set of engineering, architectural, and/or landscape design drawings that satisfy all applicable requirements of this Ordinance and outside agencies with jurisdiction, which are prepared by registered design professionals based on an approved preliminary site plan and depict all planned building, pedestrian access, parking, grading, drainage, infrastructure, exterior lighting, and other site improvement details for a given lot and development project.
3. Minor site plan. The reduced information requirements for a minor site plan submittal, as specified in Section 14.2(P) (Required Site Plan Information), are intended to allow for administrative review of a limited range of low intensity projects that do not include significant engineering or design details.

**C. Site Plan Approval Required.**

No permits shall be issued, no construction of or addition to any structure shall take place, and no land use for which site plan approval is required shall be established or expanded until all required site plans have been approved in accordance with this Section and Ordinance. Except as permitted in accordance with this Section, no grading, grubbing, cutting of trees or other vegetation, excavation, landfilling, or construction of improvements shall commence for any development for which site plan approval is required until all required site plans have been approved in accordance with the following:

Site Plan Approval Required	Type of Approval Required			
	Preliminary Site Plan	Final Site Plan	Minor Site Plan	Exempt
Adult foster care large group homes, group child day care homes, and home-based limited businesses subject to special use permit approval in the zoning district per Section 3.			✓	
All other land uses subject to special use permit approval in the zoning district, and all land uses for which site plan approval is otherwise required by provisions of this Ordinance.	✓	✓		
Farm-based tourism and entertainment activities (agri-tourism), public stables, permanent auction facilities, and religious institutions as allowed in the Agricultural (AG) District per Section 3.	✓	✓		
Private off-road courses as allowed in the Agricultural (AG) District per Section 3.			✓	
Customary agricultural operations, private stables, and greenhouses as allowed in the Agricultural (AG) and Rural Residential (R-1) zoning districts per Section 3, provided that the structures and improvements shall conform to all applicable Ordinance standards.				✓
Construction, relocation or alteration of a two family (duplex) dwelling, detached single family dwelling or customary accessory structures on a single lot, provided that the structures and improvements shall conform to all applicable Ordinance standards.				✓

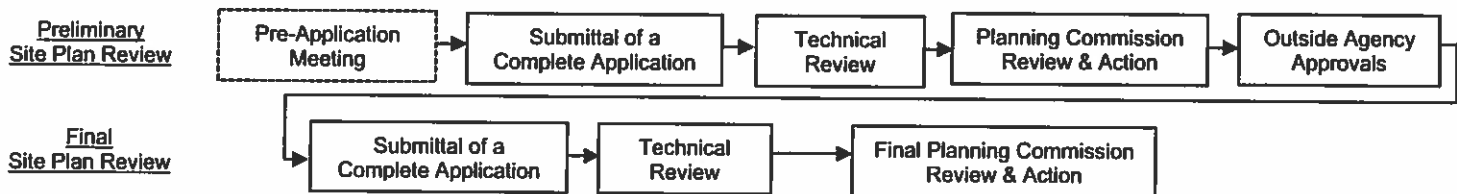
Site Plan Approval Required	Type of Approval Required			
	Preliminary Site Plan	Final Site Plan	Minor Site Plan	Exempt
Home occupations that conform to the requirements of Section 6.19.				✓
Family day care homes, adult foster care family homes and small group homes, and child foster family homes and family group homes, as licensed by the State of Michigan.				✓
Multiple-family residential buildings and uses, independent or dependent senior housing, assisted living facilities, nursing homes; homes for the aged, and religious institutions as allowed in the Residential Districts per Section 3.	✓	✓		
All land uses allowed in the Business Districts and Industrial Districts per Section 3.	✓	✓		
All planned unit development (PUD) projects, as approved by the Township Board in accordance with Section 3.18.	✓	✓		
Construction or expansion of buildings, equipment storage yards, and associated above-ground site improvements occupied by or intended for occupancy by essential services in any zoning district.	✓	✓		
The improvement, expansion, extension or abandonment of public or private overhead or underground utility lines or easements.				✓
Any development which would, if approved, provide for the establishment of more than one principal use or building on a lot.	✓	✓		
Establishment or alteration of a condominium subdivision of an existing building into separate units in accordance with the Condominium Act and Section 5.1 of this Ordinance provided that no new construction or alteration of existing buildings or site improvements are proposed or required, and compliance with the requirements and standards of this Ordinance will not be affected.			✓	
Establishment or alteration of any other condominium subdivision in accordance with the Condominium Act and Section 5.1.	✓	✓		
A change in use for an existing multiple-family, mixed use or non-residential building where the Zoning Administrator has determined that no new construction or alteration of the building or site improvements are required and compliance with the requirements and standards of this Ordinance will not be affected.			✓	
Any other change in use for an existing multiple-family, mixed use or non-residential building.	✓	✓		
Expansion of an existing multiple-family, mixed use or non-residential principal building of up to ten percent (10%) of the gross floor area, and any alterations that affect the exterior appearance, pedestrian access or function of the building without a floor area increase.			✓	
Expansion of an existing multiple-family, mixed use or non-residential principal building exceeding ten percent (10%) of the gross floor area.	✓	✓		
Relocation of a multiple-family, mixed use or non-residential building.	✓	✓		
Establishment or alteration of a multiple-family, mixed use or non-residential accessory use or structure where the Zoning Administrator has determined that compliance with the requirements and standards of this Ordinance will not be affected.			✓	
Any other establishment or alteration of any other multiple-family, mixed use or non-residential accessory use or structure,	✓	✓		
Expansion of any multiple-family, mixed use or non-residential off-street parking facility by up to 2,750 square feet.			✓	



Site Plan Approval Required	Type of Approval Required			
	Preliminary Site Plan	Final Site Plan	Minor Site Plan	Exempt
Expansion of any multiple-family, mixed use or non-residential off-street parking facility exceeding 2,750 square feet.	✓	✓		
Construction, extension or alteration of a private road, as authorized by Ord. No. 2009-09, that is located outside of a subdivision plat.	✓	✓		
Incidental changes during construction due to unanticipated site constraints or outside agency requirements, and minor landscaping changes or species substitutions, consistent with an approved final site plan.			✓	
Incidental building modifications that do not significantly alter the facade, height or floor area of a multiple-family, mixed use or non-residential building.			✓	
Changes to a site required to comply with State Construction Code requirements.			✓	
Sidewalk or pedestrian pathway construction, or barrier-free improvements.			✓	
Construction of fences, exterior lighting improvements, or installation of screening around a waste receptacle, mechanical unit or similar equipment for a multiple-family, mixed use or non-residential use.			✓	
Re-occupancy of an existing multiple-family, mixed use or non-residential building that has been vacant for more than 365 calendar days, provided that no variances to the requirements of this Ordinance are required and the proposed use will be conducted within a completely enclosed building, and will not require access changes or other substantial modifications to the existing site.			✓	

1. **Extraction operations.** For extraction operations as authorized under the Township's Extraction Ordinance No. 20-01, Planning Commission approval of an Extraction Permit and associated mining and reclamation plans shall also constitute site plan approval for the use under this Ordinance.
2. **Mobile home parks.** Construction, expansion or alteration of a mobile housing park shall be subject to preliminary plan approval in accordance with Section 3.12 and the procedures and standards established under Section 11 of the Mobile Home Commission Act (Public Act 96 of 1987, as amended), as summarized below:
  - a. The preliminary plan shall include the location, layout, general design, and general description of the project. The preliminary plan shall not include detailed construction plans.
  - b. In preparing the preliminary plan and when reviewing the plan, the developer and Planning Commission shall generally follow the review procedure outlined in this Section for preliminary site plan approval, where applicable, except where pre-empted by requirements of the Mobile Home Commission Act or Manufactured Housing Rules.
  - c. Pursuant to Section 11 of the Mobile Home Commission Act, the Planning Commission shall take action on the preliminary plan within 60 days after the Township officially receives the plan.

**D. Summary of the Site Plan Review Processes.**



**NOTE:** Applicant may combine preliminary and Final Site Plan Review, per Section 14.2(M)

**P. Required Site Plan Information.**

The following minimum information shall be included with any application for site plan approval, except where the Township Planner, Zoning Administrator or Planning Commission determines that an item of information is not applicable or necessary for review of the site plan:

<b>Minimum Site Plan Information</b>	<b>Minor Site Plan</b>	<b>Preliminary Site Plan</b>	<b>Final Site Plan</b>
<b>SITE PLAN DESCRIPTIVE INFORMATION</b>			
Name, address, and other contact information for the applicant and property owners, along with proof of ownership and signed consent if applicant is not the owner.	●	●	●
Name, address, and other contact information of the firm or individual preparing the site plan. Site plans prepared by an architect, community planner, engineer, landscape architect or land surveyor shall bear the individual's professional seal.	●	●	●
A final site plan shall be prepared and sealed by an architect, engineer, landscape architect or land surveyor registered in the State of Michigan.			●
Location, address(es), and tax identification number(s) of subject parcel(s); dimensions of the site, and the gross and net land area.	●	●	●
Legal description(s) of the subject parcel(s).		●	●
Legal description of the proposed development site and any non-contiguous open space area(s), if different from the subject parcel(s), with lot line angles or bearings indicated on the plan. Dimensions, angles, and bearings shall be based upon a boundary survey prepared by a registered surveyor.		●	●
Details of existing and proposed covenants or other restrictions imposed upon land or buildings, including bylaws, deed restrictions, and articles of incorporation for a cooperative, condominium, or homeowners' association.			●
Description of applicant's intentions regarding selling or leasing of all or portions of land, dwelling units or building spaces.		●	●
Residential projects: Gross and net dwelling unit density, lot area per dwelling unit, and a schedule of the number, sizes (bedrooms, floor areas), and types of dwellings.		●	●
A detailed use statement describing proposed use(s); including land or building areas for each use, number of units, number of anticipated employees, or other applicable information to verify Ordinance compliance.	●	●	●
<b>SITE PLAN DATA AND NOTES</b>			
Minor site plans shall be drawn to a scale appropriate for the sheet size and of such accuracy that the Zoning Administrator can readily interpret the plan.	●		
Preliminary and final site plans shall be drawn to an engineer's scale not greater than 1:50 and legible at the required sheet size. For a large development shown in sections on multiple sheets, one overall composite sheet shall be provided for clarity.		●	●
Vicinity map showing the general location of the site, map scale, north arrow, initial plan date, and any revision date(s).	●	●	●
Existing zoning classification(s) for the subject parcel(s) and surrounding parcels (including across road rights-of-way).		●	●
Owners' names, existing uses, and location of structures, drives, and improvements on surrounding parcels (including across rights-of-way).		●	●
Identification of all adjacent property in which the applicant(s), developer(s), or owner(s) have an ownership interest.		●	●
Dimensions of all property boundaries and interior lot lines.	●	●	●
Calculations for parking, lot coverage, total ground floor area, and other applicable Ordinance requirements.	●	●	●

<b>Minimum Site Plan Information</b>	<b>Minor Site Plan</b>	<b>Preliminary Site Plan</b>	<b>Final Site Plan</b>
<b>EXISTING CONDITIONS</b>			
Location of existing structures, fences, and driveways on the subject property, with notes regarding their preservation or alteration.	●	●	●
Location of existing walls, signs, utility poles and towers, pipelines, excavations, bridges, culverts, and other site features on the subject property, with notes regarding their preservation or alteration.		●	●
<b>SITE PLAN DETAILS</b>			
Delineation of required yards, and other setback areas and open space.	●	●	●
Identification of general location(s) and area(s) of each development phase; and the planned construction program and schedule for each development phase.		●	●
Location, width, purpose, and description of all existing and proposed easements and rights-of-way on or adjacent to the site.	●	●	●
Location, type, area, height, and lighting specifications of proposed signs.	●		●
An exterior lighting plan with all existing and proposed lighting locations, heights from grade, specifications, lamps types, and methods of shielding.	●		●
Location, area, and dimensions of any outdoor sales, display or storage areas.	●	●	●
Location of proposed outdoor waste receptacle enclosures; with size, elevation, and vertical cross-section showing materials and dimensions; indication how recycling will be implemented.		●	●
<b>BUILDING DESIGN AND ORIENTATION</b>			
Location, outline, ground floor area, and height of proposed structures; and of existing structures to remain on-site.	●	●	●
Dimensions, number of floors, and gross and net floor area of proposed principal buildings; and of existing principal buildings to remain on-site.		●	●
Separation distances between adjacent buildings, and between buildings and adjacent lot boundaries.		●	●
Detailed exterior building façade elevation drawings for all proposed dwellings, principal buildings, and additions, drawn to an appropriate scale and indicating types, colors, and dimensions of finished wall materials.		●	●
Finished floor elevations and contact grade elevations for proposed principal buildings and existing principal buildings to remain on-site, referenced to a common datum acceptable to the Township Engineer.			●
<b>ACCESS AND CIRCULATION</b>			
Locations, layout, surface type, centerlines, road pavement and right-of-way widths, and indication of public or private road status for all existing and proposed roads and access drives serving the site.		●	●
Conceptual locations, layout, and surface type for all parking lots, sidewalks, and pedestrian pathways within and accessing the site.	●	●	●
Locations and dimensions of vehicle access points, and distances between adjacent or opposing driveways and road intersections.	●	●	●
Details of the location, width, and paving of proposed sidewalks and pedestrian ways, including alignment, cross section, connections to existing or planned off-site facilities, and easement or right-of-way dedications.	●		●
Parking space dimensions, pavement markings, and traffic control signage.	●	●	●

<b>Minimum Site Plan Information</b>	<b>Minor Site Plan</b>	<b>Preliminary Site Plan</b>	<b>Final Site Plan</b>
Parking space angles; maneuvering aisle, island, and median dimensions; surface type; fire lanes; drainage patterns; location of loading areas; and typical cross-section showing surface, base, and sub-base materials.		●	●
Identification of proposed names for new public or private roads serving the site.		●	●
Spot elevations for existing roads on and adjacent to the subject parcel(s), including surface elevations at intersections with the internal roads and drives serving the proposed development; curve-radii and road grades; location and details of curbs, and turning lanes; and typical road cross sections showing surface, base, and sub-base materials and dimensions.			●
<b>NATURAL FEATURES AND OPEN SPACE AREAS</b>			
A general description and preliminary delineation of existing natural features on and abutting the site.		●	●
Details of all existing natural features on the site; indications of features to be preserved, removed, or altered; and any mitigation measures as may be required by Township ordinance or state statute.			●
Outdoor open space and recreation areas; location, area, and dimensions.		●	●
Description of the organization that will own and maintain open space and recreation areas, and a long-term maintenance plan for such areas.			●
<b>SCREENING AND LANDSCAPING</b>			
General layout of proposed landscaping and screening improvements; including plantings, topographic changes, and similar features.	●	●	●
A detailed landscape plan, including location, size, quantity and type of proposed plant materials and any existing plant materials to be preserved.			●
Planting list for all landscape materials, with the method of installation, botanical and common name, quantity, size, and height at planting.			●
Landscape maintenance plan, including notes regarding replacement of dead or diseased plant materials.			●
Proposed fences, walls, and other screening devices, including typical cross section, materials, and height above grade.	●	●	●
Screening methods for any waste receptacle areas, ground-mounted generators, transformers, mechanical (HVAC) units, and similar devices.	●	●	●
<b>UTILITIES, STORMWATER MANAGEMENT, AND GRADING</b>			
General layout of existing and proposed water supply systems, sanitary sewerage or septic systems, and stormwater management facilities.		●	●
Details of the location, layout, and size or capacity of the existing and proposed potable water supply and sewage treatment and disposal facilities serving the site, including line sizes, inverts, hydrants, flow patterns, manholes, and catch basins.			●
Location, size, and slope of proposed detention or retention ponds; and location and size of underground tanks and drain lines where applicable.			●
Calculations for capacity of stormwater management and drainage facilities.			●
Location and size of existing and proposed telephone, gas, electric, and similar utility lines and surface-mounted equipment.			●
General areas of intended filling or cutting.		●	●
Directional arrows showing existing and proposed drainage patterns on the lot.	●		●

Minimum Site Plan Information	Minor Site Plan	Preliminary Site Plan	Final Site Plan
A detailed grading plan, with details of proposed filling or cutting, existing and proposed topography at a minimum of two (2) foot contour levels, stormwater runoff drainage patterns, and a general description of grades within 100 feet of the site. All finished contour lines are to be connected to existing contour lines within the site or at the parcel boundaries.			●
Locations, dimensions, and materials of proposed retaining walls, with fill materials and typical vertical sections.		●	●
Description of measures to control soil erosion and sedimentation during construction operations, and until permanent groundcover is established.			●
Other information as requested by the Township Planner, Zoning Administrator or Planning Commission to verify compliance with the standards and conditions imposed by this Ordinance, the policies of the Township Master Plan, and other applicable Township ordinances or state statutes.	●	●	●

**Q. Expiration and Extension of Site Plan Approval.**

Site plan approvals shall expire and may be extended in accordance with the following:

1. Expiration of preliminary site plan approval. Approval of a preliminary site plan shall be valid for a period of 545 calendar days from the date of approval and shall expire and be of no effect unless an application for final site plan approval for all or part of the area included in the approved preliminary site plan is filed with the Township Clerk within that time period.
2. Expiration of final site plan approval. A final site plan shall expire and be of no effect unless construction has begun on the property and is diligently pursued in conformance with the approved final site plan within 545 calendar days of the final site plan approval.
3. Extension of preliminary or final site plan approval. The Planning Commission may, at its discretion and upon written request and showing of good cause by the applicant, grant an extension of a preliminary or final site plan approval for up to 365 calendar days, provided that site conditions have not changed in a way that would affect the character, design or use of the site, and that the approved site plan remains in conformance with applicable provisions of this Ordinance.
4. Expiration of Minor Site Plan Approval. A minor site plan shall expire and be of no effect unless, within 365 calendar days of approval, appropriate permits have been approved, construction has begun on the property, and such work is diligently pursued in conformance with the approved minor site plan. No extensions of minor site plan approval shall be granted by the Zoning Administrator.

**R. Phasing of Development.**

The applicant may divide the development into two (2) or more phases. Phasing shall be subject to the following requirements:

1. In the case of a phased development, the preliminary site plan shall cover the entire property involved and shall clearly indicate the location, size, and character of each phase.
2. In the case of a phased development, a final site plan shall be submitted for review and approval for each phase.
3. A phase shall not be dependent upon subsequent phases for safe and convenient vehicular and pedestrian access, adequate utility services, or open spaces and recreation facilities, and shall be capable of substantial occupancy, operation, and maintenance upon completion of construction and development.
4. The Township Planner or Planning Commission may require the applicant to post an acceptable performance guarantee to ensure that vehicular and pedestrian ways, utility services, open space and recreation facilities, and other amenities and infrastructure planned for later phases of the development are completed in a timely fashion.

**S. Standards for Site Plan Approval.**

In reviewing a minor, preliminary or final site plan, the Zoning Administrator or Planning Commission shall determine that the following standards are met, as applicable to the type of site plan:

<b>Standards for Site Plan Approval</b>	<b>Minor Site Plan</b>	<b>Preliminary Site Plan</b>	<b>Final Site Plan</b>
The applicant is legally authorized to apply for site plan approval, and all required information has been provided.	●	●	●
The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.	●	●	●
The final site plan is consistent with the policies of the Master Plan and other adopted Township planning documents, and with the approved preliminary site plan.			●
The proposed development will be harmonious with and not harmful, injurious, or objectionable to the environment or land uses in surrounding area.	●	●	●
The proposed development respects natural topography, floodways, and floodplains; and minimizes the amount and extent of cutting and filling.		●	●
Organic, wet, or other soils that are not suitable for development will be undisturbed or modified in such fashion as to make development feasible.		●	●
The movement of the vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.	●	●	●
The proposed development is adequately coordinated with improvements serving the area, and with other existing or planned development in the vicinity.		●	●
Satisfactory and harmonious relationships will exist between the proposed development and the existing and planned development of contiguous lands and the surrounding area, including provisions for proper extensions of public roads and sidewalks through the development in accordance with the Township ordinances.		●	●
Development phases are in logical sequence so that any phase will not depend upon a subsequent phase for access, utilities, drainage or erosion control.		●	●
The plan, including all engineering drawings, meets Township standards for fire and police protection, water supply, sewage disposal or treatment, storm drainage, and other public facilities and services.			●
The drainage plan conforms to applicable drainage and stormwater management standards, and any proposed improvements are adequate to handle anticipated stormwater runoff and accommodate upstream drainage without causing undue runoff on to neighboring property or overloading of area watercourses.			●
Proposed screening, buffering, and landscaping improvements are adequate for the location and intended purpose and conform to the standards of this Ordinance.	●		●
Exterior lighting conforms to Ordinance requirements and standards, and will not adversely affect adjacent or neighboring properties or traffic on adjacent roads.	●		●
The parking layout and vehicular circulation patterns and access points to the site are adequate to serve the proposed uses and will not adversely affect the flow of traffic on adjacent roads or create pedestrian-vehicle conflicts.	●		●
Grading or filling will not destroy or adversely affect the character of the property, adjacent properties or the surrounding area.			●
Erosion will be controlled during and after construction and will not adversely affect adjacent or neighboring property or public facilities or services.			●
The plan meets applicable standards of governmental agencies with jurisdiction, and necessary outside agency approvals have been obtained or are assured.	●		●

# PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

[Michigan.gov/EGLEpermits](http://Michigan.gov/EGLEpermits)

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: [Michigan.gov/EHSguide](http://Michigan.gov/EHSguide). Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
1) Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), <a href="#">Permit Section</a>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
2) Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, <a href="#">Asbestos Program</a> , 517-284-6777	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
3) Please consult the <a href="#">Permitting at the Land and Water Interface Decision Tree document</a> to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - <a href="#">Joint Permit Application</a> , 517-284-5567:		
a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
4) Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? <b>Union Township and Isabella County</b>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
5) Does the project involve the construction or alteration of a water supply system? <b>Union Township Public Services Department</b> and <a href="#">Drinking Water &amp; Environmental Health Division</a> (DWEHD), 517-284-6524	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
6) Does the project involve construction or alteration of any sewage collection or treatment facility? <b>Union Township Public Services Department</b> and <a href="#">WRD, Part 41 Construction Permit Program (staff)</a> , 906-228-4527, or <a href="#">EGLE District Office</a>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
7) Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? <b>Union Township and Public Swimming Pool Program</b> , 517-284-6541, or <a href="#">EGLE District Office</a>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
8) Does the project involve the construction or modification of a campground? <b>Union Township and DWEHD, Campgrounds program</b> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>



9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), <a href="#">Solid Waste</a> , 517-284-6588, or <a href="#">EGLE District Office</a>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
10) Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, <a href="#">Treatment, Storage and Disposal</a> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>Who Regulates My Drinking (Potable) Water Supply?</b>		
11) I am buying water from the municipal water supply system Contact the <b>Union Township Public Services Dept.</b>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
12) I have a Non-Community Water Supply (Type II) <a href="#">Guide</a> , <a href="#">Contact (District or County) Local Health Department</a> , 517-485-0660	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
13) I am a community water supply (Type I) <a href="#">Community Water Supply, DWEHD District Office Community Water Supply Program</a> , 517-284-6512	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
14) Do you desire to develop a <a href="#">withdrawal of over 2,000,000 gallons of water per day</a> from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>Who Regulates My Wastewater Discharge System?</b>		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, <a href="#">EGLE District Office</a> , or <a href="#">National Pollutant Discharge Elimination (NPDES) Permit Program</a> , 517-284-5568	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
16) Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, <a href="#">Permits Section</a> , or <a href="#">EGLE District Office</a> , 517-284-5588	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, <a href="#">Groundwater Permits Program</a> , 517-290-2570	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
18) Does the project involve the drilling or deepening of wells for waste disposal? <a href="#">Oil, Gas and Minerals Division</a> (OGMD), 517-284-6841	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Operational Permits Are Relevant to My Operation and Air Emissions?</b>		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, <a href="#">Permit Section</a> , 517-284-6634	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
20) Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, <a href="#">Acid Rain Permit Program</a> , 517-780-7843	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Operational Permits Are Relevant to My Waste Management?</b>		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? <a href="#">MMD</a> , 517-284-6588 or <a href="#">EGLE District Office</a>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, <a href="#">Hazardous and Liquid Waste</a> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? ( <a href="#">Hazardous Waste Program Forms &amp; License Applications</a> ) MMD, <a href="#">EGLE District Office</a> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>



24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, <a href="#">Radioactive Material and Standards Unit</a> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD <a href="#">Radioactive Material and Standards Unit</a> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, <a href="#">Medical Waste Regulatory Program</a> , 517-284-6594	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Sector-Specific Permits May be Relevant to My Business?</b>		
<b>Transporters</b>		
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, <a href="#">Transporter Program</a> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, <a href="#">Transporter Program</a> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, <a href="#">Water Hauler Information</a> , 517-284-6527	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, <a href="#">Septage Program</a> , 517-284-6535	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, <a href="#">Scrap Tire Program</a> , 517-284-6586	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>Sectors</b>		
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, <a href="#">Dry Cleaning Program</a> , 517-284-6780	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? <a href="#">Laboratory Services Certifications</a> , 517-284-5424	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, <a href="#">Public Swimming Pools Program</a> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
35) Does the project involve the operation of a <i>campground</i> ? Union Township and DWEHD, <a href="#">Campgrounds</a> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Permits Do I Need to Add Chemicals to Lakes and Streams?</b>		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, <a href="#">Aquatic Nuisance Control</a> , 517-284-5593	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, <a href="#">Surface Water Assessment Section</a> , 517-331-5228	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

**Why would I be subject to Oil, Gas and Mineral Permitting?**

<p>38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, <a href="#">Petroleum Geology and Production Unit</a>, 517-284-6826</p>	<p>Y <input type="checkbox"/></p>	<p>N <input checked="" type="checkbox"/></p>
<p>39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, <a href="#">Sand Dune Mining Program</a>, 517-284-6826</p>	<p>Y <input type="checkbox"/></p>	<p>N <input checked="" type="checkbox"/></p>
<p>40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, <a href="#">Radioactive Protection Programs</a>, 517-284-6581</p>	<p>Y <input type="checkbox"/></p>	<p>N <input checked="" type="checkbox"/></p>
<p><a href="#">Petroleum &amp; Mining</a>, OGMD, 517-284-6826</p> <p>41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?</p> <p>42) Does the project involve the surface or open-pit mining of metallic mineral deposits?</p> <p>43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?</p> <p>44) Does the project involve mining coal?</p> <p>45) Does the project involve changing the status or plugging of a mineral well?</p> <p>46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?</p>	<p>Y <input type="checkbox"/></p> <p>Y <input type="checkbox"/></p> <p>Y <input type="checkbox"/></p> <p>Y <input type="checkbox"/></p> <p>Y <input type="checkbox"/></p> <p>Y <input type="checkbox"/></p>	<p>N <input checked="" type="checkbox"/></p> <p>N <input checked="" type="checkbox"/></p> <p>N <input checked="" type="checkbox"/></p> <p>N <input checked="" type="checkbox"/></p> <p>N <input checked="" type="checkbox"/></p> <p>N <input checked="" type="checkbox"/></p>

Contact **Union Township** and [EGLE Permits & Bonding](#), OGMD, 517-284-6841



# MALLEY CONSTRUCTION YARD EXPANSION PROJECT

## PARKING

PROPOSED DEVELOPMENT WILL BE USED FOR THE STORAGE OF EQUIPMENT AND MATERIALS. NO EMPLOYEES WILL BE REQUIRED ON SITE, THEREFORE NO DESIGNATED PARKING SPACES ARE PROPOSED.

## NOTES

UTILITIES SHOWN ON THE DRAWING REFLECT INFORMATION COLLECTED FROM UTILITY OWNERS AND VISIBLE MARKERS FOUND DURING FIELD SURVEY. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND UTILIZE THE MISS DIGG SERVICE.

OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS

## SIGNS

NO SIGNS ARE PROPOSED AT THIS TIME. FUTURE SIGNS TO BE IN ACCORDANCE WITH UNION TOWNSHIP REQUIREMENTS.

## SITE LIGHTING

NO LIGHTING IS PROPOSED AT THIS TIME. FUTURE LIGHTING TO BE IN ACCORDANCE WITH UNION TOWNSHIP REQUIREMENTS.

## ZONING REQUIREMENTS

ZONED I-1 (LIGHT INDUSTRIAL)  
 MIN. LOT WIDTH = 100'  
 MIN. LOT AREA = 43,560 SFT  
 MAX. BUILDING HEIGHT = 35'  
 MIN. FRONT YARD = 75'  
 MIN. SIDE YARD = 30'  
 MIN. REAR YARD = 50'  
 MAX. LOT COVERAGE = 40%

## SURVEY CONTROL

CONTROL POINT 115 CONTROL POINT 116  
 N: 772279.91 N: 772020.27  
 E: 13020004.75 E: 13019965.01  
 ELEV: 757.01 ELEV: 757.99

BENCHMARK 201  
 MARKED "X" IN TOP OF WESTERLY POST OF GAS PIPE GUARD  
 ELEV: 758.53

BENCHMARK 202  
 MARKED "X" IN NW BOLT ON TOP FLANGE OF FIRE HYDRANT  
 ELEV: 758.28

DATUM: NAVD88 BASED ON GPS OBSERVATIONS

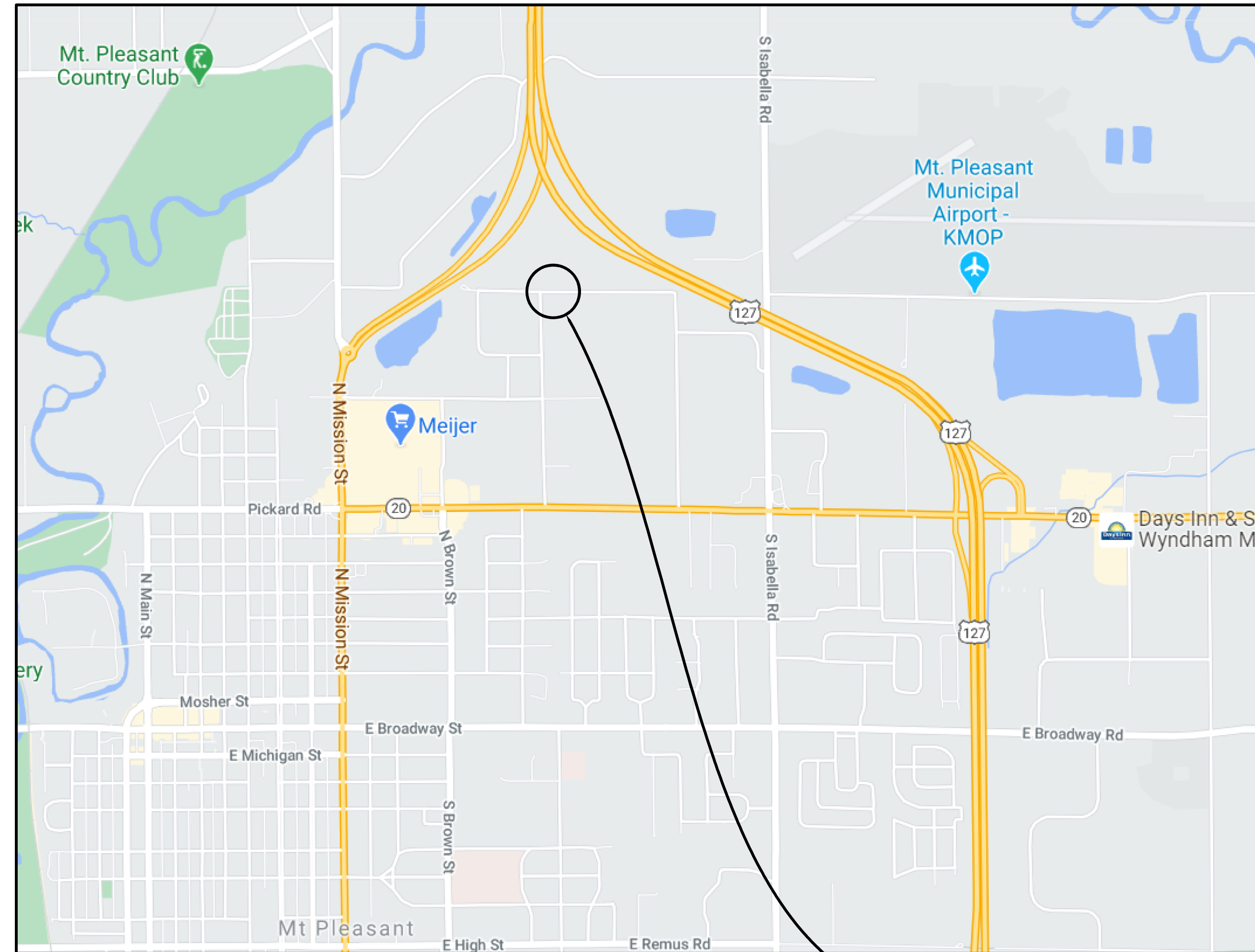
## PROPERTY DESCRIPTIONS

PARCEL A: WARRANTY DEED: LIBER 1846, PAGE 792  
 TAX ID: 14-011-40-002-00

THE NORTH 32 RODS OF THE WEST 38 RODS OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 11, TOWNSHIP 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

PARCEL B: WARRANTY DEED: LIBER 1875, PAGE 232  
 TAX ID: 14-011-30-001-07

THE NORTH 274 FEET OF THE EAST 159 FEET OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 11, TOWNSHIP 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.



LOCATION MAP  
 NTS  
 PROJECT LOCATION

## LEGEND

- EXISTING GRAVEL
- - - EXISTING GAS
- - - EXISTING ELECTRIC
- - - EXISTING WATER
- - - EXISTING STORM
- - - EXISTING SANITARY
- PROPOSED FENCE
- ▨ EXISTING GRAVEL
- ▨ PROPOSED GRAVEL
- ⊕ GAS VENT
- ⊕ GAS MARKER
- ⊕ U UTILITY POLE
- ⊕ GUY WIRE
- ⊕ HYDRANT
- ⊕ GATE VALVE
- ⊕ ST STORM MANHOLE
- ⊕ S SANITARY MANHOLE
- ⊕ PROPOSED DECIDUOUS TREE
- ⊕ PROPOSED ORNAMENTAL TREE
- ⊕ PROPOSED SHRUB
- ⊕ PUBLIC LAND CORNER
- ⊕ SET IRON WITH PS CAP #63460
- ⊕ FOUND IRON

## PROJECT DESCRIPTION

PROPOSED PROJECT INCLUDES THE FOLLOWING:  
 CLEAR AND STRIP PROPERTY AS NEEDED TO CONSTRUCT GRAVEL PARKING AS SHOWN  
 INSTALL CHAINLINK FENCE AROUND THE PERIMETER OF THE PROPERTY  
 CLOSE DOWN THE PRIVATE PORTION OF PACKARD ROAD BETWEEN THE APPLICANT'S PARCELS  
 SITE WILL BE USED FOR MATERIAL STOCKPILES AND EQUIPMENT LAYDOWN  
 NO BUILDINGS ARE TO BE CONSTRUCTED

## PROJECT TIMELINE

INSTALL SOIL EROSION CONTROL MEASURES	NOVEMBER, 2020
CLEAR AND STRIP LOT	NOVEMBER, 2020
CONSTRUCT GRAVEL LOT	NOVEMBER, 2020
INSTALL PERIMETER FENCING	JANUARY, 2020
SEEDING AND RESTORATION	APRIL, 2020

## SHEET INDEX

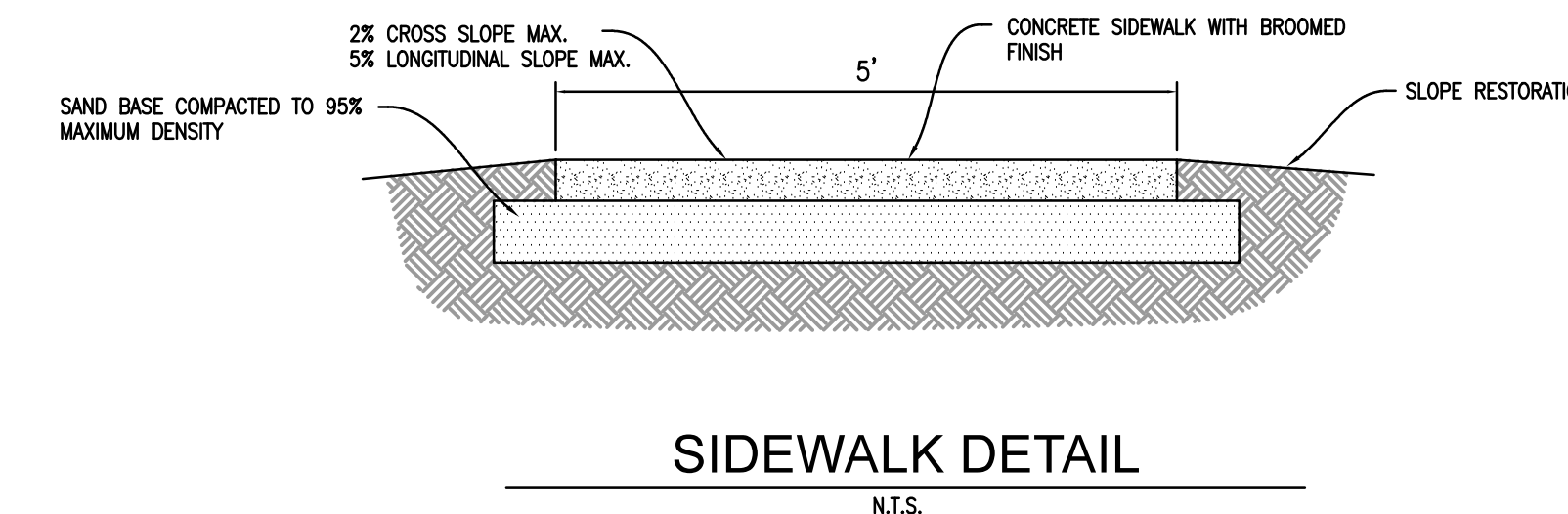
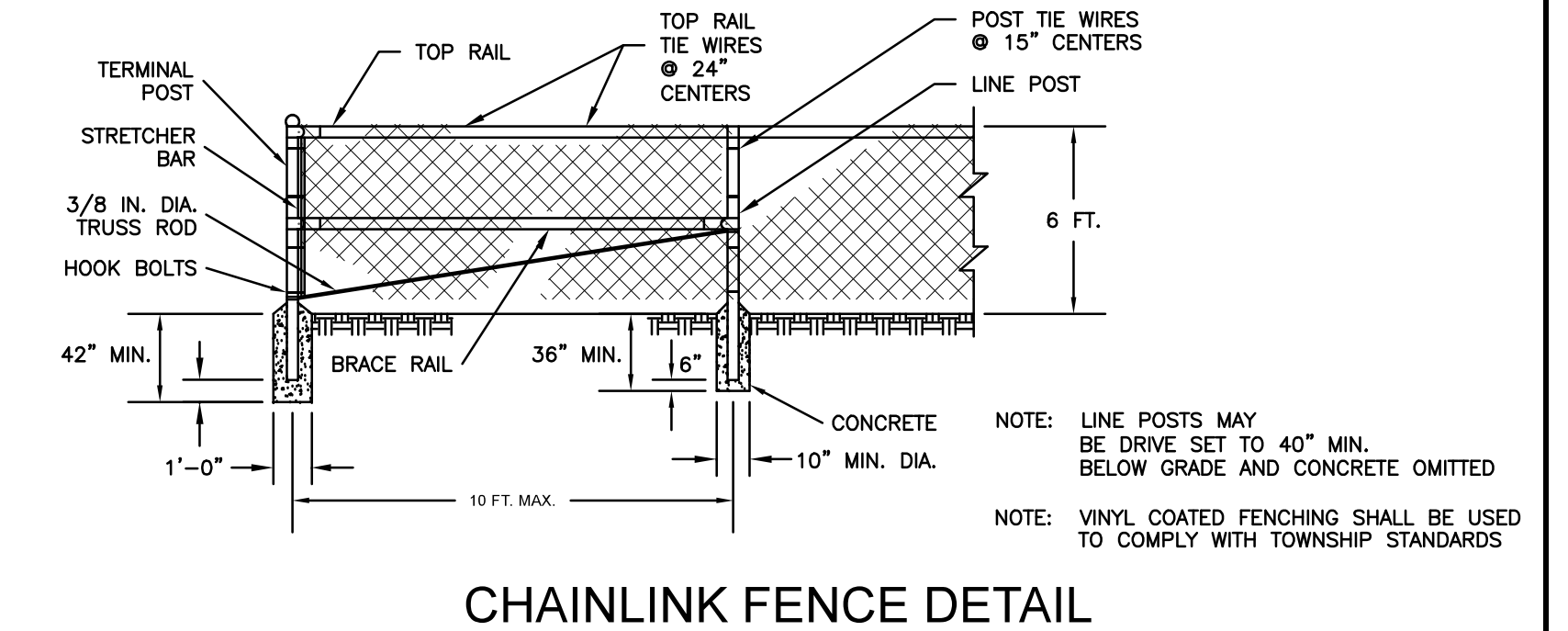
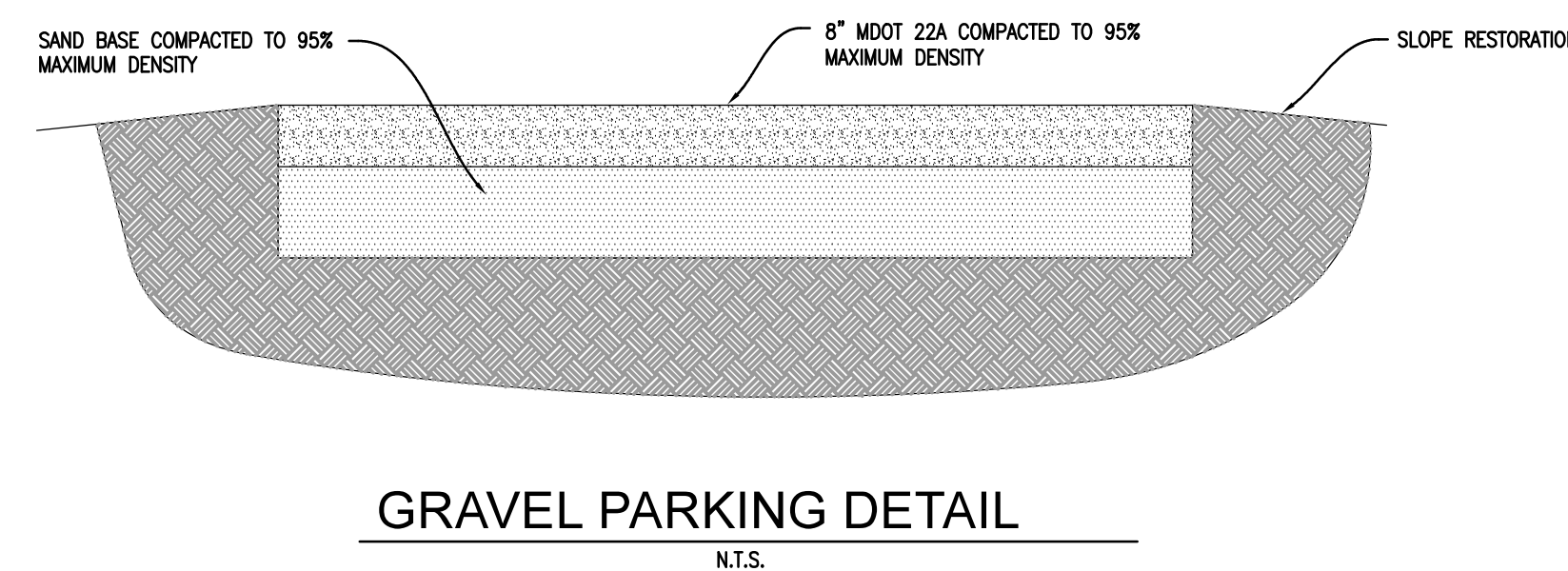
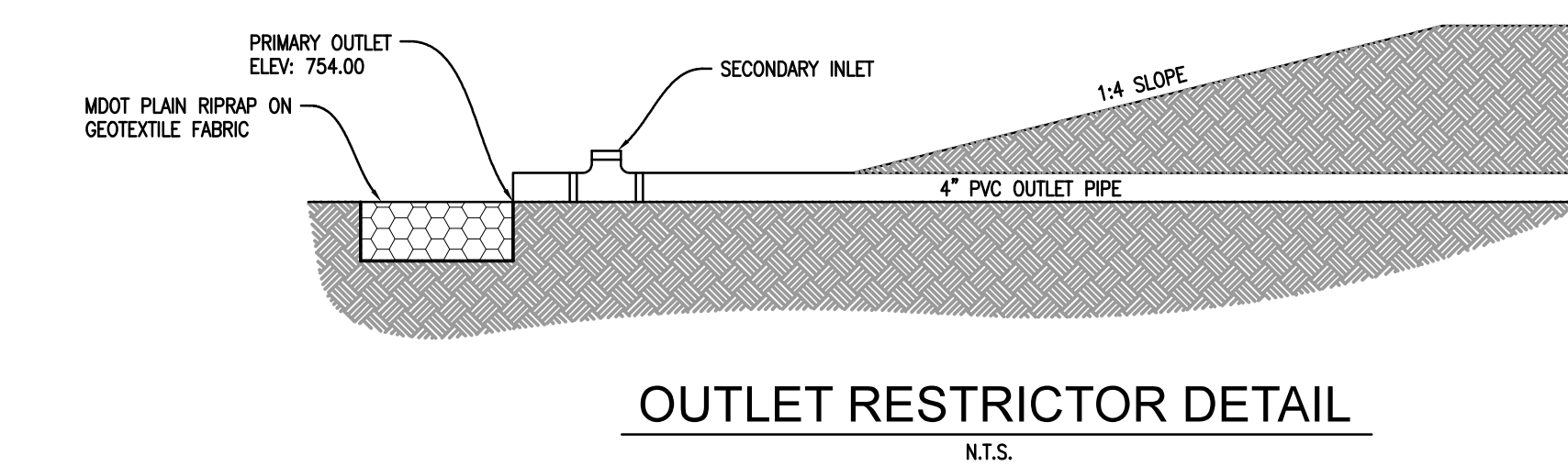
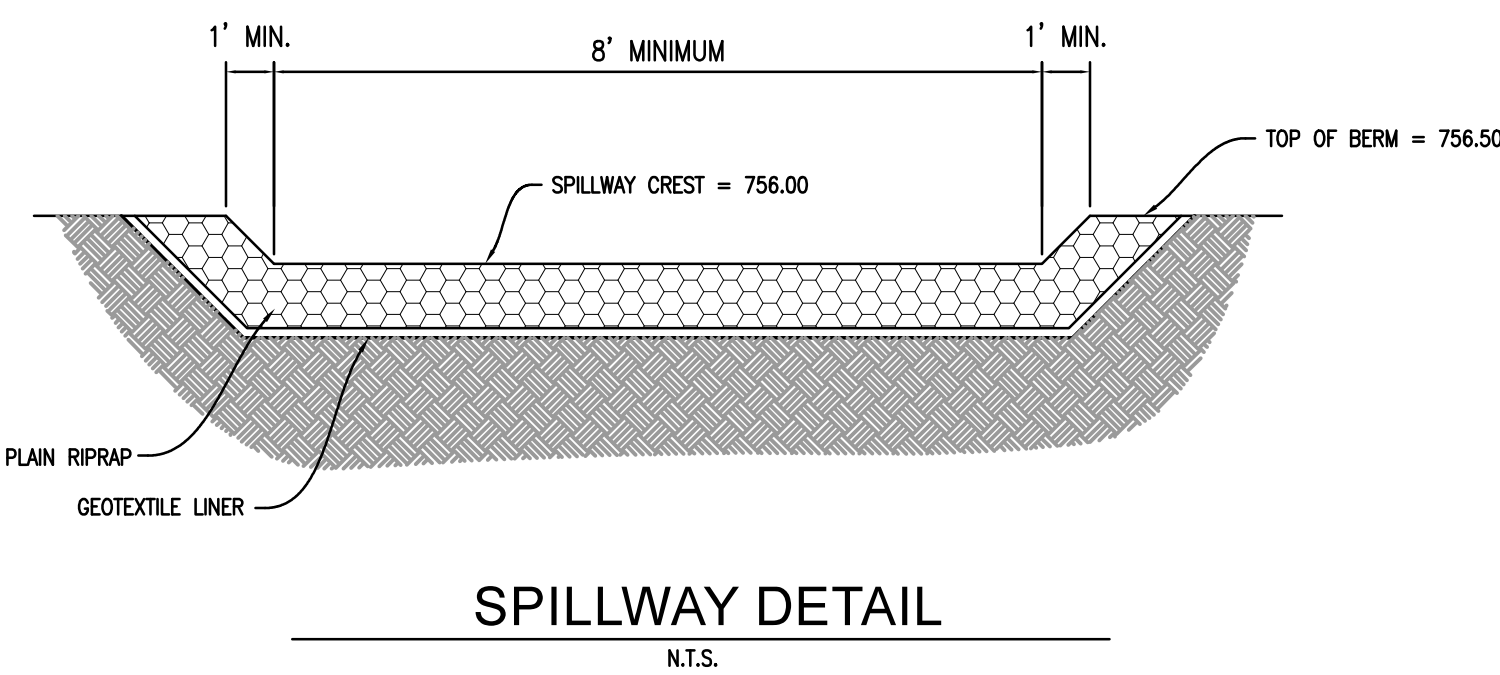
C1: COVER SHEET  
 C2: SITE PLAN  
 C3: STORM WATER MANAGEMENT / SESC PLAN

## OWNER / APPLICANT

BRAD MALLEY  
 MALLEY CONSTRUCTION  
 1565 SOUTH PARKPLACE  
 MT. PLEASANT, MI 48858  
 989-772-2765

## PREPARED BY

CHRIS SCHAFER, PE, PS  
 SCHAFER SURVEYING & ENGINEERING, LLC  
 1750 PLAINFIELD ROAD  
 MT. PLEASANT, MI 48858  
 989.560.0642  
 CHRIS.SCHAFER@OUTLOOK.COM



DRAWING NAME: COVER SHEET  
 DRAWN BY: CJS  
 REVIEWED BY: CJS  
 DATE: 10-23-20

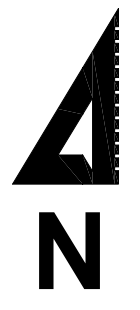
**MALLEY CONSTRUCTION**  
 1565 SOUTH PARK PLACE  
 MOUNT PLEASANT, MI 48858  
 (989) 772-2765

**SchaFour**  
 SURVEYING & ENGINEERING  
 1750 Plainfield Road | Mt. Pleasant, MI 48858

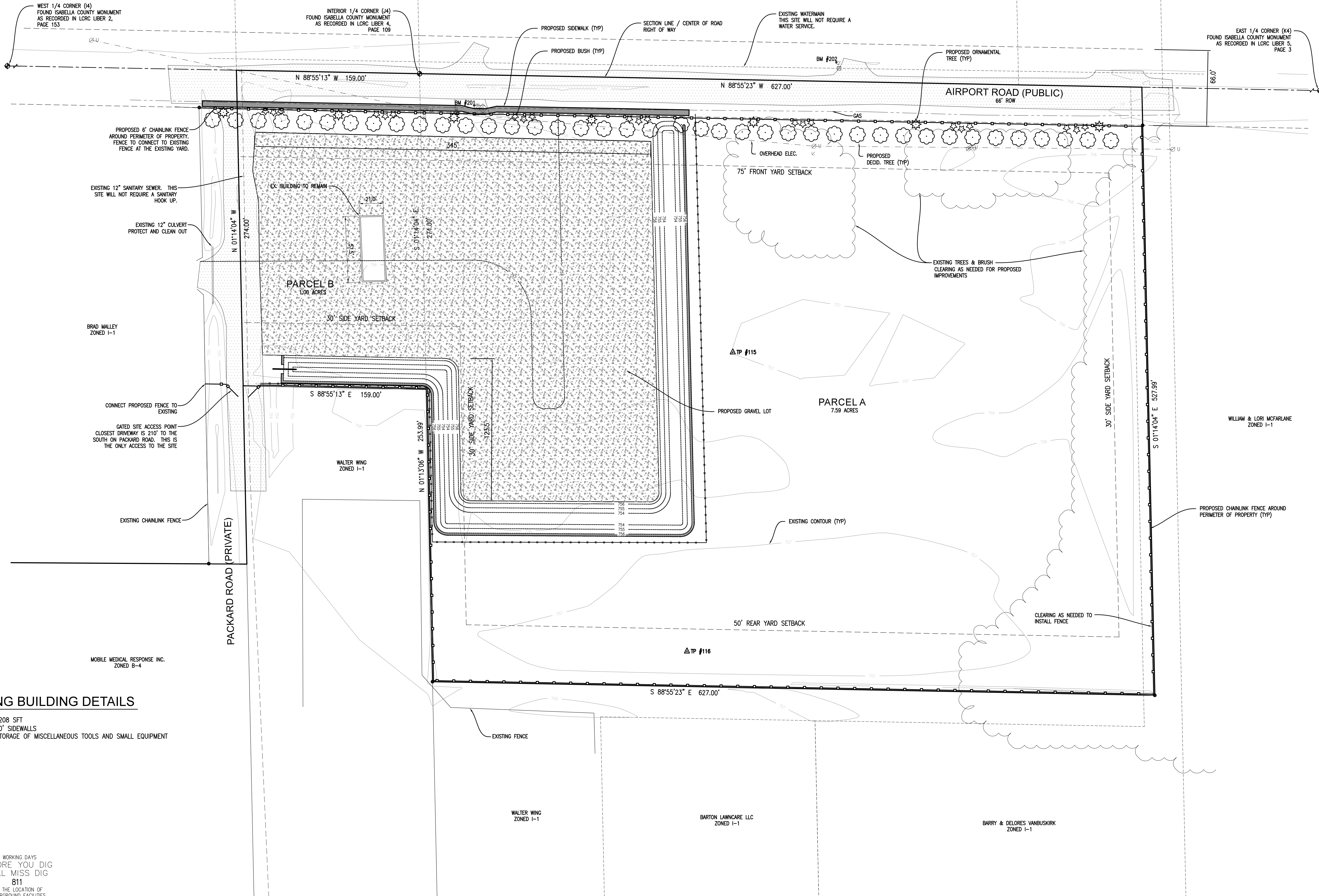
SCALE:  
 NTS

**C1**





SCALE: 1" = 40'



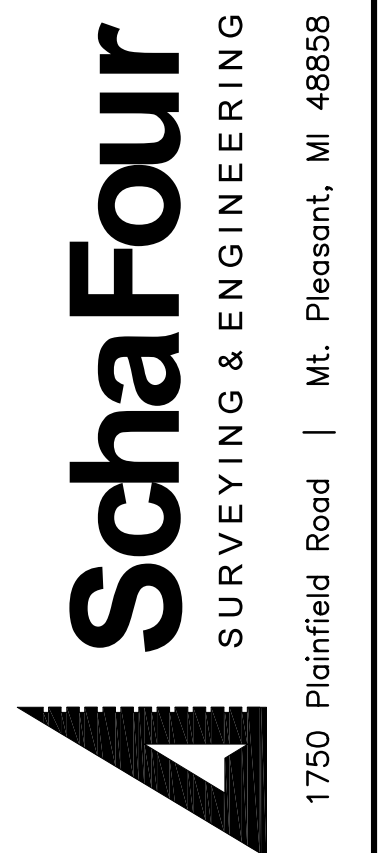
**EXISTING BUILDING DETAILS**

FLOOR AREA: 1208 SFT  
HEIGHT: 10' SIDEWALLS  
USE: STORAGE OF MISCELLANEOUS TOOLS AND SMALL EQUIPMENT



DRAWING NAME: SITE PLAN  
DRAWN BY: CJS  
REVIEWED BY: CJS  
DATE: 11-19-20

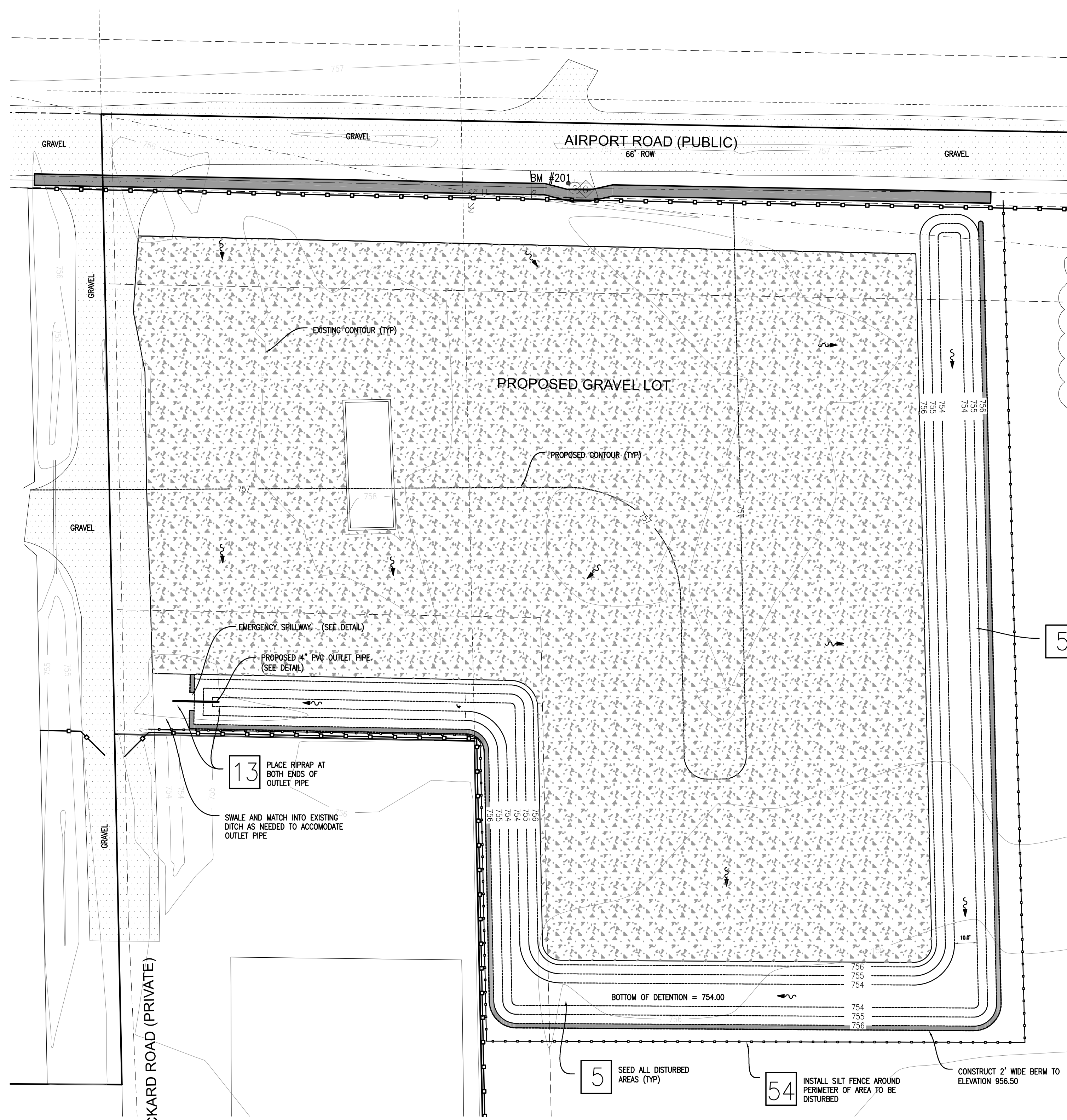
**MALLEY CONSTRUCTION**  
1565 SOUTH PARK PLACE  
MOUNT PLEASANT, MI 48858  
(989) 772-2765



SCALE:  
1" = 40'

**C2**





**SOIL EROSION NOTES**

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES UNTIL VEGETATION HAS BEEN ESTABLISHED IN ALL DISTURBED AREAS.

CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF TEMPORARY CONTROL MEASURES AFTER ALL DISTURBED AREAS HAVE BEEN RESTORED AND VEGETATION HAS BEEN ESTABLISHED. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY SITE WORK.

PERMANENT CONTROL MEASURES SHALL BE COMPLETED WITHIN 15 CALENDAR DAYS AFTER FINAL EARTH CHANGE IS COMPLETED.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITTING.

**STORMWATER / GRADING NOTES**

PROPOSED GRAVEL PARKING LOT SHALL BE CONSTRUCTED TO PROVIDE POSITIVE DRAINAGE TO PROPOSED DETENTION POND. IN GENERAL, FILL WITH BE ADDED ON THE NORTH SIDE OF THE PROPOSED LOT TO PROVIDE POSITIVE DRAINAGE. AREAS OF CUT INCLUDE THE DETENTION PONDS.

PROPOSED DETENTION POND IS DESIGNED TO HANDLE THE 25 YEAR FREQUENCY AND 24 HOUR DURATION AS REQUIRED IN THE TOWNSHIP STORM WATER MANAGEMENT PLAN. THE RUNOFF GENERATED FROM THE 100 YEAR EVENT WILL BE ACCOMMODATED WITH THE EMERGENCY SPILLWAY LOCATED NEAR WEST END OF THE PROPOSED DETENTION POND. WATER WILL FLOW THROUGH THE SPILLWAY AND DISCHARGE INTO THE EXISTING DITCH. DETENTION POND TO BE RESTORED WITH A GRASS.

**SOIL LEGEND**

**18B - COVERT SAND, 0 TO 4 PERCENT SLOPES**  
 THE COVERT SOIL IS MODERATELY WELL DRAINED. THIS SOIL FORMED IN SANDY MATERIAL. IT IS ON GLACIAL TILL PLAINS, OUTWASH PLAINS, LAKE PLAINS, BEACH RIDGES AND TILL PLAINS. THE PERMEABILITY IS RAPID. THE AVAILABLE WATER CAPACITY IS LOW. THE SURFACE RUNOFF IS VERY SLOW. THE SEASONAL HIGH WATER TABLE FLUCTUATES BETWEEN 2 TO 3.5 FEET OF THE SURFACE DURING PROLONGED WET PERIODS.

**20A - PIPESTONE SAND, 0 TO 3 PERCENT SLOPES**  
 THE PIPESTONE SOIL IS SOMEWHAT POORLY DRAINED. THIS SOIL FORMED IN SANDY MATERIAL. IT IS ON GLACIAL OUTWASH PLAINS, LAKE PLAINS, BEACH RIDGES AND TILL PLAINS. THE PERMEABILITY IS RAPID. THE AVAILABLE WATER CAPACITY IS LOW. THE SURFACE RUNOFF IS SLOW OR VERY SLOW. THE SEASONAL HIGH WATER TABLE FLUCTUATES BETWEEN .5 TO 1.5 FEET OF THE SURFACE DURING PROLONGED WET PERIODS.

**21 - KINGSVILLE LOAMY SAND**  
 THE KINGSVILLE SOIL IS POORLY DRAINED. THIS SOIL FORMED IN SANDY MATERIAL. IT IS ON LOW GLACIAL BEACH RIDGES, OFFSHORE SANDBARS AND TILL PLAINS. THE PERMEABILITY IS RAPID. THE AVAILABLE WATER CAPACITY IS LOW. THE SURFACE RUNOFF IS VERY SLOW OR PONDED. THE SEASONAL HIGH WATER TABLE IS AT OR NEAR THE SURFACE DURING PROLONGED WET PERIODS. THIS SOIL IS SUBJECT TO FREQUENT PONDING.

**DISTURBANCE AREA**

PROJECT WILL DISTURB 2.8 ACRES

5 SEED ALL DISTURBED AREAS (TYP)

**OUTLET CALCULATIONS**

ALLOWABLE OUTFLOW (0.10 CFS PER ACRE)	0.80	CFS
<b>ORIFICE HEAD CALCULATION</b>		
TOP OF BASIN	756.00	FT
ORIFICE ELEVATION	754.00	FT
HEAD	2.00	FT
<b>DIAMETER OF ORIFICE</b>		
DIAMETER OF ORIFICE	4.00	INCHES
AREA OF ORIFICE	0.087266463	SFT
HEAD DIFFERENTIAL	2.00	FT
ACTUAL RESTRICTED DISCHARGE	0.61	CFS

**25 YEAR DETENTION CALCULATIONS**

AREA OF SITE	8.00	ACRES
ALLOWABLE RELEASE RATE	0.80	CFS
COMPOSITE RUNOFF COEFFICIENT	0.43	

STORM DURATION		25 YEAR TOTAL RAINFALL	25 YEAR RAINFALL INTENSITY	PROPOSED RUNOFF RATE	PROPOSED RUNOFF VOLUME	MAXIMUM ALLOWABLE OUTFLOW	REQUIRED DETENTION
MINUTES	HOURS	INCHES	IN/HR	CFS	CFT	CFS	CFT
5	0.08	0.5	6.00	20.67	6202	0.80	5962
10	0.17	0.87	5.22	17.99	10791	0.80	10311
15	0.25	1.12	4.48	15.44	13892	0.80	13172
20	0.33	1.21	3.63	12.51	15009	0.80	14049
30	0.50	1.54	3.08	10.61	19102	0.80	17662
40	0.67	1.67	2.51	8.63	20714	0.80	18794
50	0.83	1.82	2.18	7.52	22575	0.80	20175
60	1.00	1.95	1.95	6.72	24187	0.80	21307
90	1.50	2.21	1.47	5.08	27412	0.80	23092
120	2.00	2.41	1.21	4.15	29893	0.80	24133
180	3.00	2.66	0.89	3.06	32994	0.80	24354
240	4.00	2.86	0.72	2.46	35475	0.80	23955
300	5.00	3.01	0.60	2.07	37335	0.80	22935
360	6.00	3.11	0.52	1.79	38576	0.80	21296
420	7.00	3.23	0.46	1.59	40064	0.80	19904
480	8.00	3.32	0.42	1.43	41181	0.80	18141
540	9.00	3.4	0.38	1.30	42173	0.80	16253
600	10.00	3.47	0.35	1.20	43041	0.80	14241
660	11.00	3.53	0.32	1.11	43785	0.80	12105
720	12.00	3.61	0.30	1.04	44778	0.80	10218
900	15.00	3.74	0.25	0.86	46390	0.80	3190
1080	18.00	3.9	0.22	0.75	48375	0.80	-3465
1260	21.00	3.96	0.19	0.65	49119	0.80	-11361
1440	24.00	4.15	0.17	0.60	51476	0.80	-17644
2880	48.00	4.59	0.10	0.33	56933	0.80	-81307

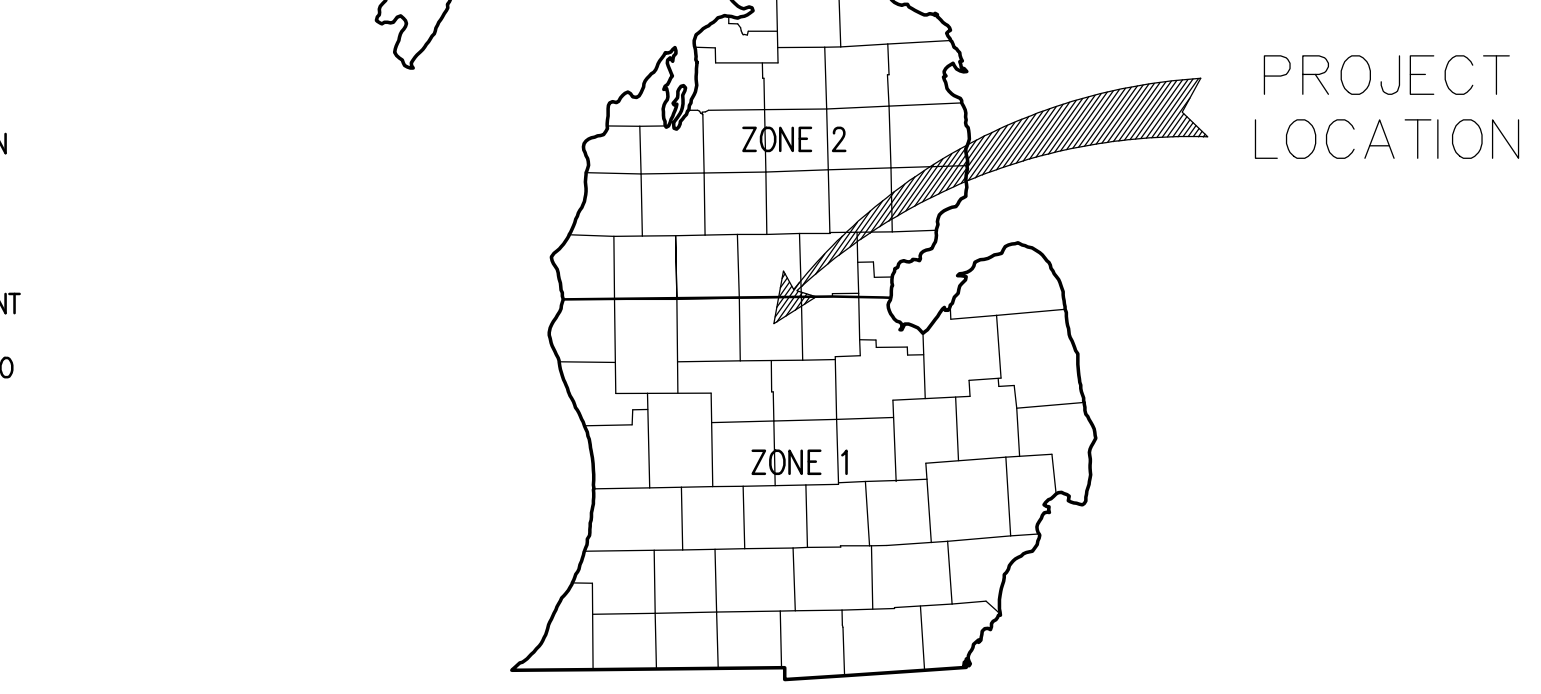
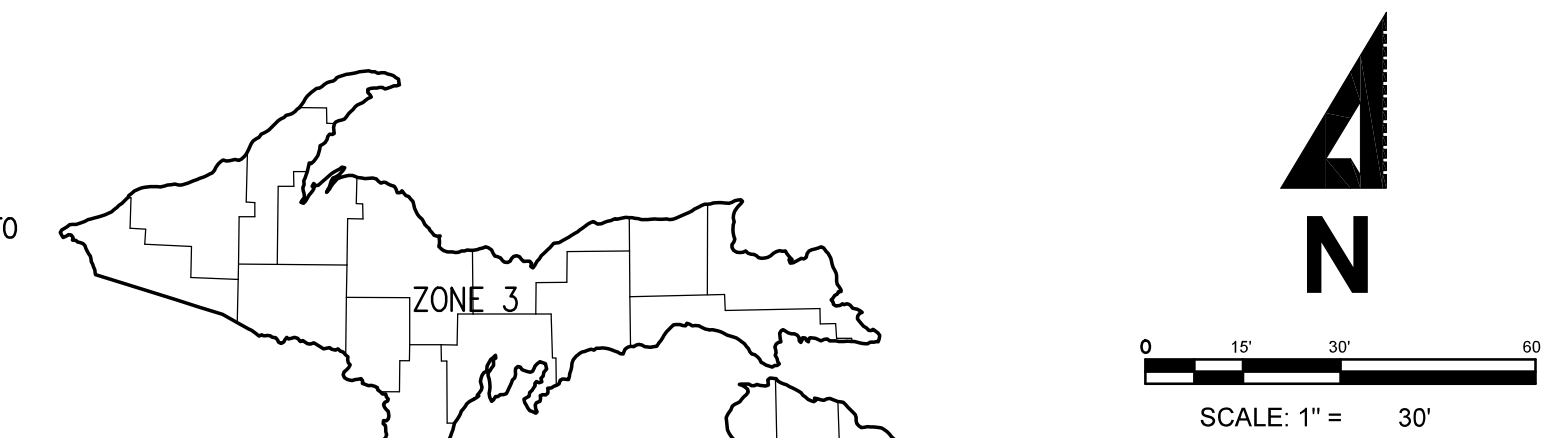
REQUIRED STORAGE 24354

**RUNOFF COEFFICIENT CALCULATIONS**

	AREA (ACRES)	C
HARD SURFACE / IMPERVIOUS AREA	0.03	0.95
GRAVEL	2.28	0.75
GREENSPACE / LAWN	5.69	0.3
CONTINUOUS DRAINAGE AREA	8.00	
COMPOSITE RUNOFF "C"	0.43	
MAXIMUM ALLOWABLE OUTFLOW	0.8	CFS

**DETENTION POND A CAPACITY**

CONTOUR ELEVATION	BOTTOM AREA (SFT)	TOP AREA (SFT)	VOLUME CFT
756-755	12964.00	19443	16203.5
755-754	6599.00	12964	9781.5
			<b>25985</b>



**SEEDING ZONES**

**TEMPORARY SEEDING GUIDE**

TYPE OF SEED	ZONE 1									
	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN
SPRING OATS/BARLEY OR DOMESTIC RYE/GRASS										
SUDANGRASS										
RYE OR PERENNIAL RYE										
WHEAT										

**PERMANENT SEEDING GUIDE**

IRRIGATED AND/OR MULCH	PERMANENT SEEDING GUIDE									
	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN
WITHOUT IRRIGATION OR MULCH										
IRRIGATED AND/OR MULCHED										
WITHOUT IRRIGATION OR MULCH										
IRRIGATED AND/OR MULCHED										

**MICHIGAN UNIFIED KEY**

- 5** SEEDING: INEXPENSIVE AND VERY EFFECTIVE. STABILIZES SOIL, THUS MINIMIZING EROSION. PERMITS RUNOFF TO INFILTRATE SOIL, REDUCING RUNOFF VOLUME. SHOULD INCLUDE PREPARED TOPSOIL BED.
- 13** RIPRAP, RUBBLE, CARBONS: USED WHERE VEGETATION IS NOT EASILY ESTABLISHED. EFFECTIVE FOR HIGH VELOCITIES OR HIGH CONCENTRATIONS. PERMITS RUNOFF TO INFILTRATE SOIL. DISSIPATES ENERGY FLOW AT SYSTEM OUTLETS.
- 54** SILT FENCE: USES GEOTEXTILE FABRIC AND POSTS OR POLES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.

DRAWING NAME: STORM WATER MANAGEMENT / SECC

DRAWN BY: CJS  
 REVIEWED BY: CJS  
 DATE: 11-19-20

**MALLEY CONSTRUCTION**  
 1565 SOUTH PARK PLACE  
 MOUNT PLEASANT, MI 48858  
 (989) 772-2765

**SchaFour**  
 SURVEYING & ENGINEERING  
 1750 Plainfield Road | Mt. Pleasant, MI 48858

SCALE: 1" = 30'

**C3**

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 811 FOR THE LOCATION OF UNDERGROUND FACILITIES



**Draft Motions: PSPR 20-15 Malley Construction Contractor’s Yard  
Preliminary Site Plan Review Application**

**MOTION TO APPROVE:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to approve the PSPR 20-15 preliminary site plan from Malley Construction for a Contractor’s Yard on approximately 8.59 acres of land (parcel numbers 14-011-30-001-07 and 14-011-40-002-00) on the south side of East Airport Road and east of Packard St. in the southwest quarter of Section 11 and in the I-1 (Light Industrial) zoning district, finding that the site plan with a revision date of November 19, 2020 fully complies with the applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval).

**MOTION TO APPROVE WITH CONDITIONS:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to approve the PSPR 20-15 preliminary site plan from Malley Construction for a Contractor’s Yard on approximately 8.59 acres of land (parcel numbers 14-011-30-001-07 and 14-011-40-002-00) on the south side of East Airport Road and east of Packard St. in the southwest quarter of Section 11 and in the I-1 (Light Industrial) zoning district, finding that the site plan with a revision date of November 19, 2020 can comply with applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

1. Remove the proposed closure of Packard St. from the final site plan for the project.
2. Provide all items of required information on the final site plan per Section 14.2.P.
3. Preliminary site plan approval is contingent upon Board of Trustees final approval of the PSUP2 20-02 Contractor’s Yard special use permit for this project.

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**MOTION TO DENY:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to deny the PSPR 20-15 preliminary site plan from Malley Construction for a Contractor’s Yard on approximately 8.59 acres of land (parcel numbers 14-011-30-001-07 and 14-011-40-002-00) on the south side of East Airport Road and east of Packard St. in the southwest quarter of Section 11 and in the I-1 (Light Industrial) zoning district, finding that the site plan with a revision date of November 19, 2020 does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

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**Draft Motions: PSPR 20-15 Malley Construction Contractor's Yard**  
**Preliminary Site Plan Review Application**

**MOTION TO POSTPONE ACTION:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to postpone action on the PSPR 20-15 preliminary site plan from Malley Construction for a Contractor's Yard on approximately 8.59 acres of land (parcel numbers 14-011-30-001-07 and 14-011-40-002-00) until \_\_\_\_\_, 2021 for the following reasons:

1. Until the Board of Trustees has taken final action to approve the PSUP2 20-02 Contractor's Yard special use permit for this project.
2. To allow for time for the applicant to revise the preliminary site plan to provide all items of required information on the final site plan per Section 14.2.P., and to remove the proposed closure of Packard St. from the plan.

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## SITE PLAN REPORT

<b>TO:</b>	Planning Commission	<b>DATE:</b>	November 25, 2020
<b>FROM:</b>	Rodney C. Nanney, AICP Community and Economic Development Director	<b>ZONING:</b>	B-7 Retail and Service Highway Business
<b>PROJECT:</b>	PSPR 20-16 - Preliminary Site Plan Approval Application for the Pickard Road City Gate Reconstruction Project.		
<b>PARCEL(S):</b>	PID 14-013-20-001-00		
<b>OWNER(S):</b>	Consumers Energy		
<b>LOCATION:</b>	Approximately 2.9 total acres on the south side of E. Pickard Rd. between S. Summerton Rd. and the Baymont Inn in the NE1/4 of Section 13.		
<b>EXISTING USE:</b>	Essential service natural gas distribution	<b>ADJACENT ZONING:</b>	B-7 and I-2
<b>FUTURE LAND USE DESIGNATION:</b>	<i>Community Commercial</i> . This land use category is intended the widest variety of retail and service businesses, but is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well-managed access.		
<b>ACTION REQUESTED:</b>	To review and take action to approve, deny or approve with conditions the PSPR 20-16 preliminary site plan dated "Nov 2020" for the Consumers Energy Pickard Road City Gate Reconstruction Project.		

### Background Information

#### Project Summary

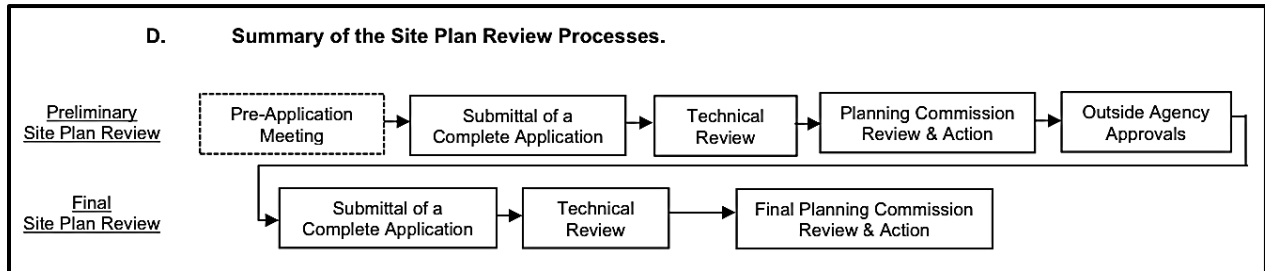
Consumers Energy is proposing to reconstruct its existing "city gate" facility, which is an essential component of the utility company's regional natural gas distribution system and is regulated as an "essential service" land use allowed in all zoning districts subject to site plan approval. The planned reconstruction would include:

- Replacement of the existing equipment shelter structures with a new 34-foot by 44-foot (1,496 square-foot) building with an enhanced steel and brick facade.
- Replacement and upgrading of utility infrastructure and equipment on the site.
- Replacement of the existing chain-link fencing on the north and east sides of the secured enclosure with a seven (7) foot tall black ornamental steel fence.
- Removal of the gravel turnaround and parking area adjacent to E. Pickard Rd. and establishment of a new access drive and entrance from S. Summerton Rd.
- Extensive landscaping improvements in areas of the site not encumbered by underground infrastructure, along with protection of existing trees and vegetation.



## New Zoning Ordinance Site Plan Review Process

This is the first project to come before the Planning Commission for review under the new Zoning Ordinance No. 20-06, which includes an updated site plan review process that requires both preliminary and final site plan approval as follows:



Per Section 14.2.J., approval of a preliminary site plan by the Planning Commission “*shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas.*”

Per Section 14.2.L., Planning Commission approval of a final site plan “*constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met.*” Documentation of all applicable outside agency permits and approvals is required as part of the final site plan application.

The most significant change from the prior Ordinance is that outside agency approvals are not required at this preliminary site plan stage. This change was made to provide an opportunity for the applicant to receive direction from the Planning Commission related to the site plan earlier in the development process.

## Essential Services and Limited Modifications to Regulations

The Consumers Energy City Gate natural gas facility meets the definition of an “essential service” under our Zoning Ordinance. Essential service land uses are allowed in all zoning districts, subject to site plan approval. Section 7.15 (Essential Services) also provides for the Planning Commission to be able to approve a site plan that includes “*modification to regulations governing lot area, building or structure height, building or structure placement, and use of land in the Township when strict compliance with such regulations would not be practical or feasible.*”

This provision to allow modifications is limited by the following additional statement in this section: “*Essential services shall comply with all applicable regulations that do not affect the basic design or essential operation of said services.*”

## Review Comments

The following review comments are based on the applicable Ordinance requirements, the required information for a preliminary site plan (see Section 14.2.P.), and the standards for preliminary site plan approval found in Section 14.2.S. of the new Zoning Ordinance.

1. **Section 14.2.P. - Site Plan Information Requirements.** The site plan conforms to the minimum information requirements for a preliminary site plan with one exception that will need to be addressed on the final site plan:
  - Add a specific revision date (month/day/year) on the final site plan cover sheet.
2. **Section 3.15. - Setbacks.** The location and dimensions of the existing facility's fenced enclosure will not be altered by the planned reconstruction. The proposed building location conforms to the minimum required setbacks of the B-7 District.
3. **Section 8.1.B.6. - Environmental Performance Standards.** Applicant has confirmed that hazardous materials on-site are limited to an underground storage tank containing Mercaptan, the odorant added to natural gas before distribution to customers.
4. **Section 9.1 - Parking.** A note on sheet C-0251-PMT - 4 confirms that the site will not be regularly occupied. Employees will visit for periodic maintenance and inspections. There is sufficient space within the fenced enclosure to accommodate temporary parking of vehicles for these purposes. No other off-street parking is required for this facility.
5. **Section 9.5 – Loading Space.** Sufficient space has been provided within the fenced enclosure to satisfy the minimum loading space requirement for this land use.
6. **Section 9.6 - Access Management.** This Section establishes driveway standards designed to preserve the function and capacity of E. Pickard Rd. (M-20). The site is currently served by one (1) existing driveway approach from M-20, which is planned to remain in place as a secondary access point. The applicant has proposed to provide a new primary access point from S. Summerton Rd. into the site. Section 9.6 limits each lot to one access point, but also provides the option for the Planning Commission to approve a second access from a side street where the new driveway will not prevent adjacent lots from complying with the access spacing standards in this Section.

The new driveway approach eliminates the need for the turnaround area adjacent to E. Pickard Rd. The removal of this turnaround will improve the appearance of this site and will be a benefit to the community. Staff would have no objection from a planning perspective to approval of the preliminary site plan with this new driveway access.
7. **Section 7.10 - Sidewalks and Pathways.** The plan shows the existing public sidewalk along E. Pickard Rd., but the minimum 5-foot-wide sidewalk required along the S. Summerton Rd. frontage is missing. The following sidewalk-related details will need to be addressed on the final site plan:
  - Add the required public sidewalk along the length of the S. Summerton Rd. frontage at a location within the road right-of-way consistent with Isabella County Road Commission standards, or within a separate easement adjacent to the right-of-way.
  - Add easement details if the new sidewalk will be located outside of the existing right-of-way. A copy of the as-recorded easement document will need to be submitted to the Zoning Administrator prior to issuance of a building permit for this project.
  - Add a cross-section sidewalk construction detail showing the base and pavement

depth, pavement width, and description of base and paving materials.

8. **Section 8.2. - Exterior Lighting.** Exterior lighting details are not required until the final site plan stage, but the applicant has provided some information for review. The exterior lighting details are sufficient for preliminary site plan approval, but the following details will need to be addressed by the applicant on the final site plan:

- Provide a photometric plan to confirm compliance with the maximum light level of 10 foot-candles within the site and 0.5 foot-candles at the property line and road rights-of-way.
- Revise pole fixture height measurements to confirm compliance with Section 8.2.E.
- The hinged fixtures must be modified to be permanently set at a 90-degree downward directed position (with modification details noted on the final site plan) or replaced with a different type of fixture that conforms to Section 8.2.C.2. standards.

9. **Section 7.6. – Fencing.** The proposed ornamental-style black steel security fencing for the north and east sides of the enclosure is a significant visual upgrade for this site and will also have the benefit of providing some additional screening of the equipment within the fenced enclosure. However, the overall height of the existing chain-link fence with barbed wire and the proposed ornamental-style security fencing both exceed the maximum of six (6) feet allowed per Section 7.6 (Fences and Walls).

Recognizing that this height is necessary to secure the unmanned facility, staff would have no objection from a planning perspective to approval of the preliminary site plan with the seven (7) foot high ornamental fence as a necessary modification for essential services per Section 7.15 of the Zoning Ordinance.

10. **Section 10. – Landscaping and Screening.** A detailed landscape plan is not required until the final site plan stage, but the applicant has chosen to provide a plan for review. The plan on sheet C-251-SPL-2 includes preservation of existing trees and vegetation on the site to the east of the fenced enclosure, and preservation of the existing evergreen hedgerow on the west side of the enclosure adjacent to the hotel. The plan also includes a total of 20 new deciduous, ornamental, and evergreen trees and 46 new shrubs.

The landscape installation and maintenance plans conform to Section 10 standards and the proposed planting locations near the northeast corner of the site conform to the requirements of Section 4.6 (Clear Vision Triangle).

The number of new plantings is consistent with Section 10.2 (General Landscaping Requirements) as applied to the proposed project. However, the new landscaping cannot be located in the required area between the fenced enclosure and the E. Pickard Rd. right-of-way due to limitations imposed by underground natural gas infrastructure. The applicant has proposed an arrangement of new plantings that maximizes the visual character benefits within the available areas of the site.

Staff would have no objection from a planning perspective to approval of the preliminary site plan with the proposed landscaping arrangement as a necessary modification for essential services per Section 7.15 of the Zoning Ordinance.

## **Objective**

The Planning Commission shall study the site plan and take action when ready to either approve or disapprove the proposed site plan. If the site plan is disapproved, the reasons for disapproval shall be stated.

## **Key Findings**

1. Site improvements includes significant upgrades to the visual character of this facility, including new ornamental fencing, an upgraded equipment shelter building, removal of the gravel turnaround/parking area in front, and installation of new landscaping.
2. Limited modifications to ordinance requirements related to access, fence height, and planting locations are necessary per Section 7.15 (Essential Services) for the design and operation of the facility.
3. The site plan conforms to the standards for preliminary site plan approval found in Section 14.2.S. (Standards for Site Plan Approval).

## **Recommendations**

Based on the above findings, I would ask that the Planning Commission consider taking action to approve the PSPR 20-16 site plan, subject to the following conditions:

1. The access, fence height, and planting location modifications are accepted as presented on the site plan per Section 7.15 of the Zoning Ordinance.
2. Include a specific revision date on the final site plan cover sheet.
3. Add the required public sidewalk along the length of the S. Summerton Rd. frontage and associated details to the final site plan.

Please contact me at (989) 772-4600 ext. 232, or via email at [RNanney@uniontownshipmi.com](mailto:RNanney@uniontownshipmi.com), with any questions about this information.

Respectfully submitted,

***Rodney C. Nanney, AICP***

Community and Economic Development Director

<b>Minimum Site Plan Information</b>	<b>Minor Site Plan</b>	<b>Preliminary Site Plan</b>	<b>Final Site Plan</b>
<b>EXISTING CONDITIONS</b>			
Location of existing structures, fences, and driveways on the subject property, with notes regarding their preservation or alteration.	●	●	●
Location of existing walls, signs, utility poles and towers, pipelines, excavations, bridges, culverts, and other site features on the subject property, with notes regarding their preservation or alteration.		●	●
<b>SITE PLAN DETAILS</b>			
Delineation of required yards, and other setback areas and open space.	●	●	●
Identification of general location(s) and area(s) of each development phase; and the planned construction program and schedule for each development phase.		●	●
Location, width, purpose, and description of all existing and proposed easements and rights-of-way on or adjacent to the site.	●	●	●
Location, type, area, height, and lighting specifications of proposed signs.	●		●
An exterior lighting plan with all existing and proposed lighting locations, heights from grade, specifications, lamps types, and methods of shielding.	●		●
Location, area, and dimensions of any outdoor sales, display or storage areas.	●	●	●
Location of proposed outdoor waste receptacle enclosures; with size, elevation, and vertical cross-section showing materials and dimensions; indication how recycling will be implemented.		●	●
<b>BUILDING DESIGN AND ORIENTATION</b>			
Location, outline, ground floor area, and height of proposed structures; and of existing structures to remain on-site.	●	●	●
Dimensions, number of floors, and gross and net floor area of proposed principal buildings; and of existing principal buildings to remain on-site.		●	●
Separation distances between adjacent buildings, and between buildings and adjacent lot boundaries.		●	●
Detailed exterior building façade elevation drawings for all proposed dwellings, principal buildings, and additions, drawn to an appropriate scale and indicating types, colors, and dimensions of finished wall materials.		●	●
Finished floor elevations and contact grade elevations for proposed principal buildings and existing principal buildings to remain on-site, referenced to a common datum acceptable to the Township Engineer.			●
<b>ACCESS AND CIRCULATION</b>			
Locations, layout, surface type, centerlines, road pavement and right-of-way widths, and indication of public or private road status for all existing and proposed roads and access drives serving the site.		●	●
Conceptual locations, layout, and surface type for all parking lots, sidewalks, and pedestrian pathways within and accessing the site.	●	●	●
Locations and dimensions of vehicle access points, and distances between adjacent or opposing driveways and road intersections.	●	●	●
Details of the location, width, and paving of proposed sidewalks and pedestrian ways, including alignment, cross section, connections to existing or planned off-site facilities, and easement or right-of-way dedications.	●		●
Parking space dimensions, pavement markings, and traffic control signage.	●	●	●

Minimum Site Plan Information	Minor Site Plan	Preliminary Site Plan	Final Site Plan
Parking space angles; maneuvering aisle, island, and median dimensions; surface type; fire lanes; drainage patterns; location of loading areas; and typical cross-section showing surface, base, and sub-base materials.		●	●
Identification of proposed names for new public or private roads serving the site.		●	●
Spot elevations for existing roads on and adjacent to the subject parcel(s), including surface elevations at intersections with the internal roads and drives serving the proposed development; curve-radii and road grades; location and details of curbs, and turning lanes; and typical road cross sections showing surface, base, and sub-base materials and dimensions.			●
<b>NATURAL FEATURES AND OPEN SPACE AREAS</b>			
A general description and preliminary delineation of existing natural features on and abutting the site.		●	●
Details of all existing natural features on the site; indications of features to be preserved, removed, or altered; and any mitigation measures as may be required by Township ordinance or state statute.			●
Outdoor open space and recreation areas; location, area, and dimensions.		●	●
Description of the organization that will own and maintain open space and recreation areas, and a long-term maintenance plan for such areas.			●
<b>SCREENING AND LANDSCAPING</b>			
General layout of proposed landscaping and screening improvements; including plantings, topographic changes, and similar features.	●	●	●
A detailed landscape plan, including location, size, quantity and type of proposed plant materials and any existing plant materials to be preserved.			●
Planting list for all landscape materials, with the method of installation, botanical and common name, quantity, size, and height at planting.			●
Landscape maintenance plan, including notes regarding replacement of dead or diseased plant materials.			●
Proposed fences, walls, and other screening devices, including typical cross section, materials, and height above grade.	●	●	●
Screening methods for any waste receptacle areas, ground-mounted generators, transformers, mechanical (HVAC) units, and similar devices.	●	●	●
<b>UTILITIES, STORMWATER MANAGEMENT, AND GRADING</b>			
General layout of existing and proposed water supply systems, sanitary sewerage or septic systems, and stormwater management facilities.		●	●
Details of the location, layout, and size or capacity of the existing and proposed potable water supply and sewage treatment and disposal facilities serving the site, including line sizes, inverts, hydrants, flow patterns, manholes, and catch basins.			●
Location, size, and slope of proposed detention or retention ponds; and location and size of underground tanks and drain lines where applicable.			●
Calculations for capacity of stormwater management and drainage facilities.			●
Location and size of existing and proposed telephone, gas, electric, and similar utility lines and surface-mounted equipment.			●
General areas of intended filling or cutting.		●	●
Directional arrows showing existing and proposed drainage patterns on the lot.	●		●

Minimum Site Plan Information	Minor Site Plan	Preliminary Site Plan	Final Site Plan
A detailed grading plan, with details of proposed filling or cutting, existing and proposed topography at a minimum of two (2) foot contour levels, stormwater runoff drainage patterns, and a general description of grades within 100 feet of the site. All finished contour lines are to be connected to existing contour lines within the site or at the parcel boundaries.			●
Locations, dimensions, and materials of proposed retaining walls, with fill materials and typical vertical sections.		●	●
Description of measures to control soil erosion and sedimentation during construction operations, and until permanent groundcover is established.			●
Other information as requested by the Township Planner, Zoning Administrator or Planning Commission to verify compliance with the standards and conditions imposed by this Ordinance, the policies of the Township Master Plan, and other applicable Township ordinances or state statutes.	●	●	●

**Q. Expiration and Extension of Site Plan Approval.**

Site plan approvals shall expire and may be extended in accordance with the following:

1. Expiration of preliminary site plan approval. Approval of a preliminary site plan shall be valid for a period of 545 calendar days from the date of approval and shall expire and be of no effect unless an application for final site plan approval for all or part of the area included in the approved preliminary site plan is filed with the Township Clerk within that time period.
2. Expiration of final site plan approval. A final site plan shall expire and be of no effect unless construction has begun on the property and is diligently pursued in conformance with the approved final site plan within 545 calendar days of the final site plan approval.
3. Extension of preliminary or final site plan approval. The Planning Commission may, at its discretion and upon written request and showing of good cause by the applicant, grant an extension of a preliminary or final site plan approval for up to 365 calendar days, provided that site conditions have not changed in a way that would affect the character, design or use of the site, and that the approved site plan remains in conformance with applicable provisions of this Ordinance.
4. Expiration of Minor Site Plan Approval. A minor site plan shall expire and be of no effect unless, within 365 calendar days of approval, appropriate permits have been approved, construction has begun on the property, and such work is diligently pursued in conformance with the approved minor site plan. No extensions of minor site plan approval shall be granted by the Zoning Administrator.

**R. Phasing of Development.**

The applicant may divide the development into two (2) or more phases. Phasing shall be subject to the following requirements:

1. In the case of a phased development, the preliminary site plan shall cover the entire property involved and shall clearly indicate the location, size, and character of each phase.
2. In the case of a phased development, a final site plan shall be submitted for review and approval for each phase.
3. A phase shall not be dependent upon subsequent phases for safe and convenient vehicular and pedestrian access, adequate utility services, or open spaces and recreation facilities, and shall be capable of substantial occupancy, operation, and maintenance upon completion of construction and development.
4. The Township Planner or Planning Commission may require the applicant to post an acceptable performance guarantee to ensure that vehicular and pedestrian ways, utility services, open space and recreation facilities, and other amenities and infrastructure planned for later phases of the development are completed in a timely fashion.

**S. Standards for Site Plan Approval.**

In reviewing a minor, preliminary or final site plan, the Zoning Administrator or Planning Commission shall determine that the following standards are met, as applicable to the type of site plan:

Standards for Site Plan Approval	Minor Site Plan	Preliminary Site Plan	Final Site Plan
The applicant is legally authorized to apply for site plan approval, and all required information has been provided.	●	●	●
The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.	●	●	●
The final site plan is consistent with the policies of the Master Plan and other adopted Township planning documents, and with the approved preliminary site plan.			●
The proposed development will be harmonious with and not harmful, injurious, or objectionable to the environment or land uses in surrounding area.	●	●	●
The proposed development respects natural topography, floodways, and floodplains; and minimizes the amount and extent of cutting and filling.		●	●
Organic, wet, or other soils that are not suitable for development will be undisturbed or modified in such fashion as to make development feasible.		●	●
The movement of the vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.	●	●	●
The proposed development is adequately coordinated with improvements serving the area, and with other existing or planned development in the vicinity.		●	●
Satisfactory and harmonious relationships will exist between the proposed development and the existing and planned development of contiguous lands and the surrounding area, including provisions for proper extensions of public roads and sidewalks through the development in accordance with the Township ordinances.		●	●
Development phases are in logical sequence so that any phase will not depend upon a subsequent phase for access, utilities, drainage or erosion control.		●	●
The plan, including all engineering drawings, meets Township standards for fire and police protection, water supply, sewage disposal or treatment, storm drainage, and other public facilities and services.			●
The drainage plan conforms to applicable drainage and stormwater management standards, and any proposed improvements are adequate to handle anticipated stormwater runoff and accommodate upstream drainage without causing undue runoff on to neighboring property or overloading of area watercourses.			●
Proposed screening, buffering, and landscaping improvements are adequate for the location and intended purpose and conform to the standards of this Ordinance.	●		●
Exterior lighting conforms to Ordinance requirements and standards, and will not adversely affect adjacent or neighboring properties or traffic on adjacent roads.	●		●
The parking layout and vehicular circulation patterns and access points to the site are adequate to serve the proposed uses and will not adversely affect the flow of traffic on adjacent roads or create pedestrian-vehicle conflicts.	●		●
Grading or filling will not destroy or adversely affect the character of the property, adjacent properties or the surrounding area.			●
Erosion will be controlled during and after construction and will not adversely affect adjacent or neighboring property or public facilities or services.			●
The plan meets applicable standards of governmental agencies with jurisdiction, and necessary outside agency approvals have been obtained or are assured.	●		●



## PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

[Michigan.gov/EGLEpermits](http://Michigan.gov/EGLEpermits)

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: [Michigan.gov/EHSguide](http://Michigan.gov/EHSguide). Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
1) Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), <a href="#">Permit Section</a>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
2) Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, <a href="#">Asbestos Program</a> , 517-284-6777	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
3) Please consult the <a href="#">Permitting at the Land and Water Interface Decision Tree document</a> to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - <a href="#">Joint Permit Application</a> , 517-284-5567: <ul style="list-style-type: none"> <li>a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?</li> <li>b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?</li> <li>c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?</li> <li>d. Does the project involve construction of a dam, weir or other structure to impound flow?</li> </ul>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
4) Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? <b>Union Township and Isabella County</b>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
5) Does the project involve the construction or alteration of a water supply system? <b>Union Township Public Services Department and <a href="#">Drinking Water &amp; Environmental Health Division</a></b> (DWEHD), 517-284-6524	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
6) Does the project involve construction or alteration of any sewage collection or treatment facility? <b>Union Township Public Services Department and <a href="#">WRD, Part 41 Construction Permit Program (staff)</a></b> , 906-228-4527, or <a href="#">EGLE District Office</a>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
7) Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? <b>Union Township and <a href="#">Public Swimming Pool Program</a></b> , 517-284-6541, or <a href="#">EGLE District Office</a>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
8) Does the project involve the construction or modification of a campground? <b>Union Township and <a href="#">DWEHD,Campgrounds program</a></b> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), <a href="#">Solid Waste</a> , 517-284-6588, or <a href="#">EGLE District Office</a>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
10) Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, <a href="#">Treatment, Storage and Disposal</a> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>Who Regulates My Drinking (Potable) Water Supply?</b>		
11) I am buying water from the municipal water supply system Contact the <b>Union Township Public Services Dept.</b>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
12) I have a Non-Community Water Supply (Type II) <a href="#">Guide, Contact (District or County) Local Health Department</a> , 517-485-0660	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
13) I am a community water supply (Type I) <a href="#">Community Water Supply, DWEHD District Office Community Water Supply Program</a> , 517-284-6512	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
14) Do you desire to develop a <a href="#">withdrawal of over 2,000,000 gallons of water per day</a> from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>Who Regulates My Wastewater Discharge System?</b>		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, <a href="#">EGLE District Office</a> , or <a href="#">National Pollutant Discharge Elimination (NPDES) Permit Program</a> , 517-284-5568	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
16) Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, <a href="#">Permits Section</a> , or <a href="#">EGLE District Office</a> , 517-284-5588	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, <a href="#">Groundwater Permits Program</a> , 517-290-2570	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
18) Does the project involve the drilling or deepening of wells for waste disposal? <a href="#">Oil, Gas and Minerals Division</a> (OGMD), 517-284-6841	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Operational Permits Are Relevant to My Operation and Air Emissions?</b>		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, <a href="#">Permit Section</a> , 517-284-6634	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
20) Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, <a href="#">Acid Rain Permit Program</a> , 517-780-7843	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Operational Permits Are Relevant to My Waste Management?</b>		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? <a href="#">MMD</a> , 517-284-6588 or <a href="#">EGLE District Office</a>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, <a href="#">Hazardous and Liquid Waste</a> , 517-284-6562	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? ( <a href="#">Hazardous Waste Program Forms &amp; License Applications</a> ) MMD, <a href="#">EGLE District Office</a> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, <a href="#">Radioactive Material and Standards Unit</a> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD <a href="#">Radioactive Material and Standards Unit</a> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, <a href="#">Medical Waste Regulatory Program</a> , 517-284-6594	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Sector-Specific Permits May be Relevant to My Business?</b>		
<b>Transporters</b>		
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, <a href="#">Transporter Program</a> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, <a href="#">Transporter Program</a> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, <a href="#">Water Hauler Information</a> , 517-284-6527	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, <a href="#">Septage Program</a> , 517-284-6535	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, <a href="#">Scrap Tire Program</a> , 517-284-6586	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>Sectors</b>		
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, <a href="#">Dry Cleaning Program</a> , 517-284-6780	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? <a href="#">Laboratory Services Certifications</a> , 517-284-5424	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, <a href="#">Public Swimming Pools Program</a> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
35) Does the project involve the operation of a <i>campground</i> ? Union Township and DWEHD, <a href="#">Campgrounds</a> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<b>What Permits Do I Need to Add Chemicals to Lakes and Streams?</b>		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, <a href="#">Aquatic Nuisance Control</a> , 517-284-5593	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, <a href="#">Surface Water Assessment Section</a> , 517-331-5228	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

**Why would I be subject to Oil, Gas and Mineral Permitting?**

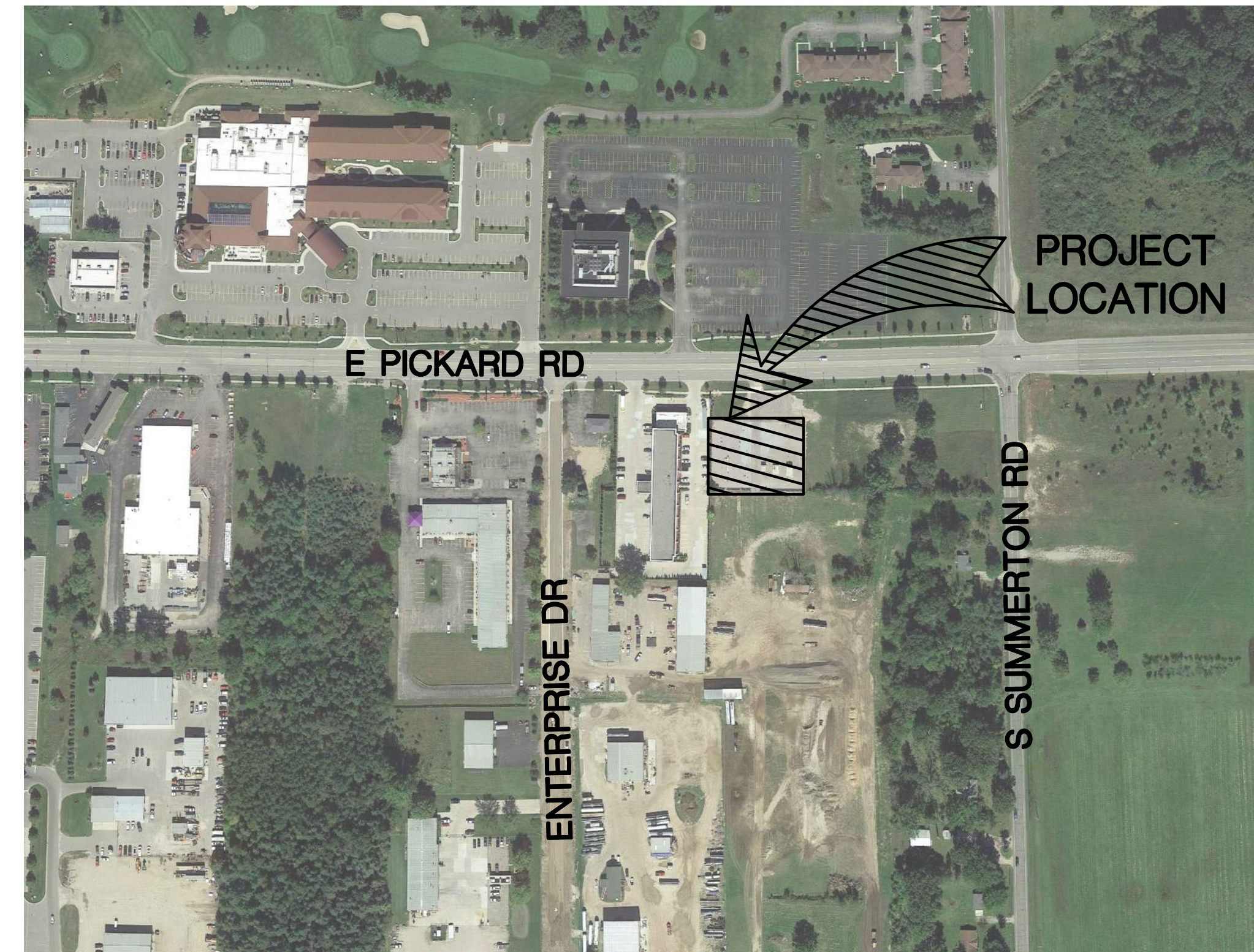
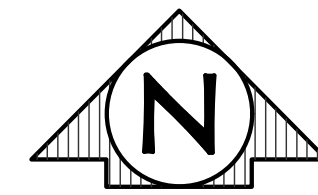
38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, <a href="#">Petroleum Geology and Production Unit</a> , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, <a href="#">Sand Dune Mining Program</a> , 517-284-6826	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, <a href="#">Radioactive Protection Programs</a> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
<a href="#">Petroleum &amp; Mining</a> , OGMD, 517-284-6826		
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
44) Does the project involve mining coal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
45) Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Contact Union Township and [EGLE Permits & Bonding](#), OGMD, 517-284-6841



# PROJECT SCOPE

PREPARE A SITE PLAN AND OBTAIN ASSOCIATED PERMITS FOR THE RECONSTRUCTION OF THE MT. PLEASANT CITY GATE FACILITY ON CONSUMERS ENERGY PROPERTY IN UNION TOWNSHIP, MI. THE SCOPE OF WORK INCLUDES REMOVAL OF EXISTING PIPING/EQUIPMENT AND CONSTRUCTION OF A NEW BUILDING, FENCING AND NATURAL GAS PIPING/EQUIPMENT ON CONSUMERS ENERGY PROPERTY.



# SITE PLAN FOR CONSUMERS ENERGY MT. PLEASANT CITY GATE RECONSTRUCT

SECTION 13 T14N-R4W  
E PICKARD ROAD  
MT. PLEASANT, MI 48858  
UNION TOWNSHIP, ISABELLA COUNTY

## SHEET INDEX

- C-0251-PMT - 1 COVER SHEET
- C-0251-PMT - 2 GENERAL NOTE SHEET
- C-0251-PMT - 3 EXISTING SURVEY AND REMOVAL SHEET
- C-0251-PMT - 4 SITE PLAN SHEET
- C-0251-SPL - 1 GRADING & SESC SHEET
- C-0251-SPL - 2 LANDSCAPING SHEET
- C-0251-SAD - 1 DETAIL SHEET
- C-0251-SAD - 2 BUILDING ELEVATIONS/FLOOR PLAN
- E-0251-SPL - 1 ELECTRICAL SITE PLAN
- E-0251-CDS - 29 YARD LIGHT CONDUIT DETAIL

## LOCAL AGENCY AND UTILITY INFORMATION

AGENCY	UTILITY
UNION TOWNSHIP 2010 S. LINCOLN ROAD MT. PLEASANT, MI 48858 (989) 772-4600	SITE PLAN
ISABELLA COUNTY ROAD COMMISSION 2261 E. REMUS ROAD MT. PLEASANT, MI 48858 (989) 773-7131	ROAD
MDOT - MT. PLEASANT TSC 1212 CORPORATE DRIVE MT. PLEASANT, MI 48858 (989) 773-7756	ROAD
ISABELLA COUNTY COMMUNITY DEVELOPMENT COMMUNITY DEVELOPMENT DEPARTMENT 200 N. MAIN STREET MT. PLEASANT, MI 48858 (989) 317-4061	SESC

## RECORD LEGAL DESCRIPTION

PARCEL ID 14-013-20-001-00  
WARRANTY DEED DATED 9/30/1947, RECORDED IN LIBER 229-PAGE 257

"COMMENCING AT A POINT 2050 FEET EAST OF THE NORTH QUARTER CORNER OF SECTION THIRTEEN (13), TOWNSHIP FOURTEEN (14) NORTH, RANGE FOUR (4) WEST, MICHIGAN, RUNNING THENCE SOUTH 260 FEET, THENCE EAST 200 FEET, THENCE NORTH 260 FEET, THENCE WEST 200 FEET TO THE PLACE OF BEGINNING."

WARRANTY DEED DATED 8/4/1954, RECORDED IN LIBER 259-PAGE 527

"COMMENCING 2250 FEET EAST OF THE NORTH 1/4 CORNER OF SECTION 13, TOWNSHIP 14 NORTH, RANGE 4 WEST, THENCE SOUTH 260 FEET, EAST TO EAST SECTION LINE, NORTH TO SECTION CORNER, WEST TO PLACE OF BEGINNING."

AREA: 2.9 ACRES

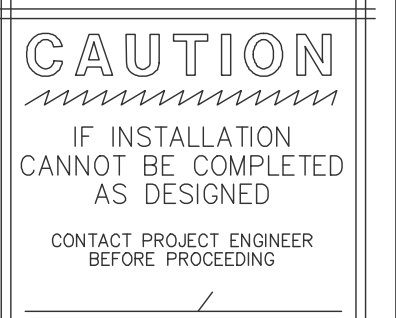
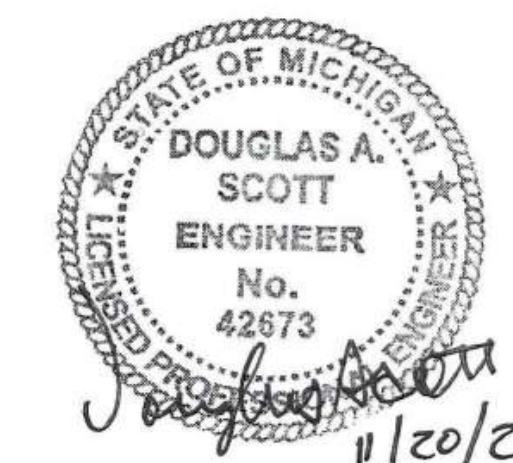


## OWNER INFORMATION

CONSUMERS ENERGY  
1945 W. PARNALL RD  
JACKSON, MI 49201  
(517) 788-1843  
DENISE KENNEY

## ENGINEER INFORMATION

ROWE PROFESSIONAL SERVICES COMPANY  
540 S. SAGINAW ST, SUITE 200  
FLINT, MI 48502  
(810) 341-7500  
DOUGLAS SCOTT, P.E.



	MT. PLEASANT CITY GATE RECONSTRUCT 2021 CONSTRUCTION
	COVER SHEET
GEO-SPATIAL & GAS ASSET MANAGEMENT	FIELD AREA: PROJECT # 20C0219 DRAWING NO. C-0251-PMT SHEET 1
FILE: -- RASTER FILE:	SCALE N.T.S. STA. NO. ---

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	ENGINEER APPROVAL	DATE	



**EMERGENCY CONTACTS**

- BEFORE BEGINNING WORK ON THE PROJECT, THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH THE NAMES AND TELEPHONE NUMBERS OF EMERGENCY CONTACTS. AT LEAST ONE PERSON REPRESENTING THE CONTRACTOR SHALL BE AVAILABLE TO RESPOND TO EMERGENCIES THROUGHOUT THE LIFE OF THE PROJECT, 24 HOURS A DAY, 7 DAYS A WEEK.

**UNDERGROUND UTILITY IDENTIFICATION AND LOCATION**

- THE CONTRACTOR SHALL CALL MISS DIG (811) A MINIMUM OF THREE WORK DAYS IN ADVANCE OF BEGINNING EXCAVATION. THE CONTRACTOR IS RESPONSIBLE TO IDENTIFY AND NOTIFY UTILITY AGENCIES WITHIN THE PROJECT AREA WHICH DO NOT PARTICIPATE IN THE MISS DIG NOTIFICATION PROGRAM.

**PUBLIC UTILITIES**

- EXISTING UTILITIES ARE SHOWN BASED UPON RECORDS AND LOCATIONS PROVIDED BY UTILITY AGENCIES. THE INFORMATION SHOWN IS CONSIDERED APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. UNLESS THE PLANS SPECIFICALLY SHOW THAT EXISTING UTILITIES ARE TO BE MOVED, THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN EXISTING UTILITIES.

**VERIFICATION OF UNDERGROUND UTILITIES**

- THE CONTRACTOR SHALL EXCAVATE AND LOCATE ALL EXISTING UTILITIES IN THE PROJECT AREA IN ADVANCE OF CONSTRUCTION TO VERIFY THEIR ACTUAL LOCATION. POTENTIAL CONFLICTS SHALL BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL MAKE SUCH CHANGES TO GRADE AND ALIGNMENT OF PROPOSED WORK AS DIRECTED BY THE ENGINEER TO AVOID CONFLICTS, AT NO INCREASE IN COST TO THE OWNER.

**UTILITY SERVICE**

- UNLESS SPECIFICALLY PROVIDED OTHERWISE IN THE CONTRACT DOCUMENTS, ALL EXISTING UTILITIES ARE TO REMAIN IN SERVICE DURING THE PROJECT.

**SOIL BORINGS / PAVEMENT CORES**

- IF PROVIDED ON THE PLANS OR IN THE CONTRACT DOCUMENTS, LOGS OF SOIL BORINGS OR PAVEMENT CORES REPRESENT THE SUBSURFACE CONDITIONS ENCOUNTERED AT SPECIFIC POINTS. THE INFORMATION IS PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY.

**MAINTAINING TRAFFIC**

- LOCAL AND EMERGENCY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES WITHIN THE PROJECT AREA.
- WHEN EXCAVATION, FRESH CONCRETE, OR OTHER CONSTRUCTION WORK WILL RESULT IN THE CLOSURE OF A STREET OR DRIVEWAY FOR A PERIOD OF TIME, THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL AFFECTED RESIDENTS AND BUSINESSES IN ADVANCE.
- THE CONTRACTOR SHALL NOTIFY EMERGENCY RESPONSE AGENCIES IN ADVANCE OF ROAD CLOSURES OR THE ESTABLISHMENT OF DETOURS.

**TRAFFIC SIGNS**

- TRAFFIC SIGNS WHICH INTERFERE WITH CONSTRUCTION SHALL BE REMOVED AND REPLACED BY THE AGENCY HAVING JURISDICTION OVER THE STREETS OR ROADS IN THE PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE AGENCY TO ARRANGE FOR REMOVAL OF THE SIGN AND IS RESPONSIBLE TO PAY ANY FEES ASSOCIATED WITH THE REMOVAL AND REPLACEMENT OF THE SIGNS.

**SCHEDULE**

- THE CONTRACTOR SHALL COMPLETE ALL WORK IN AN EXPEDITIOUS MANNER AND SHALL NOT STOP WORK ON THE PROJECT ONCE BEGUN.

**SURVEY CORNERS, BENCHMARKS, AND CONTROL POINTS**

- THE CONTRACTOR SHALL PRESERVE ALL GOVERNMENT CORNERS, PROPERTY CORNERS, BENCHMARKS, SURVEY CONTROL POINTS AND OTHER SURVEY POINTS WITHIN THE PROJECT AREA. WHERE CORNERS, BENCHMARKS, OR SURVEY POINTS ARE ENCOUNTERED WHICH WILL BE DISTURBED BY THE CONTRACTOR'S ACTIVITIES; A LICENSED SURVEYOR SHALL WITNESS THE POINT BEFORE DISTURBANCE AND SHALL RE-SET THE POINT FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL PAY THE SURVEYOR TO WITNESS AND TO RE-SET THE POINTS.

**PROTECTION OF TREES, SHRUBS, AND LANDSCAPING**

- ALL TREES, SHRUBS, AND LANDSCAPING WITHIN THE CONSTRUCTION AREA WHICH ARE NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. DAMAGED TREES, SHRUBS, AND LANDSCAPING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

**CONSTRUCTION SIGNING AND BARRICADING**

- THE CONTRACTOR SHALL PROTECT HAZARDOUS AREAS WITH BARRICADES. BARRICADES LEFT IN PLACE AFTER SUNSET SHALL BE LIGHTED.
- THE CONTRACTOR SHALL PROVIDE SUITABLE SANDBAGS OR OTHER SUITABLE MEASURES FOR ANCHORING OF TEMPORARY SIGNS AND BARRICADES, TO PREVENT THEIR TIPPING OR DISPLACEMENT BY WIND OR AIR FLOW FROM VEHICLES.
- THE CONTRACTOR SHALL PROVIDE SIGNING, BARRICADES, FLAGGERS, CONES, AND OTHER TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCY HAVING JURISDICTION OVER STREETS OR ROADS IN THE PROJECT AREA, THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COVER OR REMOVE TEMPORARY SIGNS DURING PERIODS WHEN THEY ARE NOT APPROPRIATE.

**TURF ESTABLISHMENT**

- ALL DISTURBED AREAS WHICH ARE NOT TO BE SURFACED WITH PAVEMENT, AGGREGATE OR OTHER APPROVED SURFACES SHALL BE ESTABLISHED WITH TURF.
- TURF AREAS SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE.
- DISTURBED AREAS SHALL BE SURFACED WITH THREE INCHES OF SCREENED TOPSOIL.
- THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH TURF WHICH IS SUBSTANTIALLY FREE OF BARE SPOTS AND FREE OF WEEDS. THE GROUND SURFACE IN TURF AREAS SHALL BE SMOOTH AND PROVIDE A NATURAL TRANSITION TO ADJACENT, UNDISTURBED AREAS.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE WATERING, WEEDING, RESEEDING, AND REWORKING AS NECESSARY TO ESTABLISH TURF AREAS TO THE REQUIRED STANDARD.

**ADA COMPLIANCE**

- ALL PROPOSED CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AND APPLICABLE GUIDELINES OR STANDARDS. WHERE EXISTING CONDITIONS AND/OR THE REQUIREMENTS OF THE PLANS WILL RESULT IN FINISHED CONDITIONS THAT DO NOT MEET THE ADA REQUIREMENTS, GUIDELINES, OR STANDARDS; THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REMOVE AND REPLACE WORK DETERMINED TO BE NOT IN ACCORDANCE WITH APPLICABLE REQUIREMENTS, GUIDELINES, OR STANDARDS.

**DRAINAGE**

- THE CONTRACTOR SHALL MAINTAIN DRAINAGE OF THE PROJECT AREA AND ADJACENT AREAS. WHERE EXISTING DRAINAGE FACILITIES ARE DISTURBED OR BLOCKED BY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROVISIONS FOR DRAINAGE.
- WHERE CONSTRUCTION HAS DISTURBED EXISTING DITCHES, SWALES, OR OTHER DRAINAGE FACILITIES; THE CONTRACTOR SHALL RESTORE THEM TO THEIR GRADES AND DIMENSIONS WHICH EXISTED PRIOR TO THE BEGINNING OF CONSTRUCTION, UNLESS DIRECTED OTHERWISE.
- DRAINAGE SHALL NOT BE REROUTED ONTO ADJACENT PROPERTIES NOR ALLOWED TO DRAIN ONTO ADJACENT PROPERTIES AT AN INCREASED RATE, AS A RESULT OF THE CONTRACTOR'S WORK.

**BACKFILL AND EMBANKMENT**

- BACKFILL OF AN EXCAVATION UNDER OR WITHIN THE ONE ON ONE INFLUENCE OF AN EXISTING OR PROPOSED ROAD, SIDEWALK, DRIVEWAY, PAVEMENT, OR AGGREGATE SURFACE, SHALL BE SAND, MEETING THE REQUIREMENTS OF GRANULAR MATERIAL CLASS III AS DESCRIBED IN THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE SAND BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

- BACKFILL OF AN EXCAVATION WHICH IS NOT UNDER OR WITHIN THE ONE ON ONE INFLUENCE OF AN EXISTING OR PROPOSED ROAD, SIDEWALK, DRIVEWAY, PAVEMENT, OR AGGREGATE SURFACE MAY BE SUITABLE EXCAVATED MATERIAL OR OTHER SOIL, WHICH IS FREE OF ORGANIC MATTER, STONES AND ROCKS, ROOTS, BROKEN CONCRETE, FROZEN MATERIAL, OR DEBRIS. THE BACKFILL SHALL BE COMPACTED TO AT LEAST 90% OF ITS MAXIMUM UNIT WEIGHT.

- THE CONTRACTOR SHALL INDICATE THE SOURCE OF SAND USED FOR BACKFILL TO THE ENGINEER, AND PROVIDE THE ENGINEER WITH THE RESULTS OF A GRADATION TEST PERFORMED ON A SAMPLE OF THE SAND. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ADVANCE OF USING SAND FROM OTHER SOURCES.

- EMBANKMENT USED TO BUILD THE SUBGRADE TO REQUIRED ELEVATION SHALL BE SUITABLE SOIL EXCAVATED FROM THE PROJECT SITE, OR FURNISHED BY THE CONTRACTOR FROM OTHER SOURCES. SUITABLE SOIL IS FREE FROM ORGANIC MATTER, ROCKS AND STONES, FROZEN MATERIAL, BROKEN CONCRETE, AND DEBRIS.

- EMBANKMENT CONSTRUCTED OF GRANULAR SOILS SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 10 INCHES TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

- EMBANKMENT CONSTRUCTED OF COHESIVE SOILS SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 10 INCHES TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

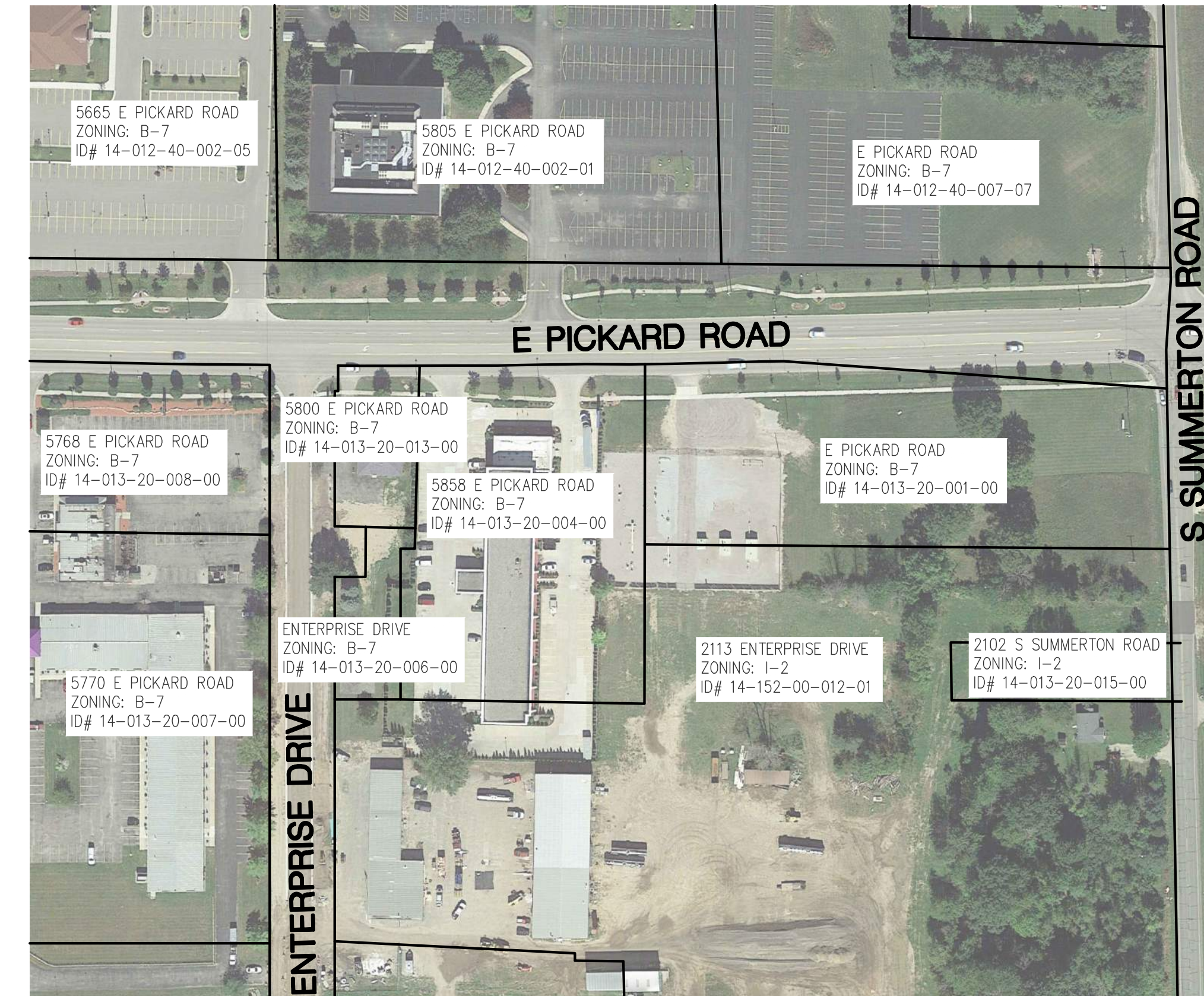
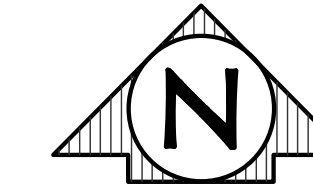
**DENSITY TESTING**

- THE MAXIMUM UNIT WEIGHT OF SAND AND OTHER GRANULAR SOILS WILL BE DETERMINED BY THE ONE POINT CONE TEST, AS DESCRIBED IN THE MICHIGAN DEPARTMENT OF TRANSPORTATION'S DENSITY TESTING AND INSPECTION MANUAL, EXCEPT WHEN ANOTHER TEST METHOD IS SPECIFIED.

- THE MAXIMUM UNIT WEIGHT OF COHESIVE SOILS WILL BE DETERMINED BY THE ONE POINT PROCTOR TEST, AS DESCRIBED IN THE MICHIGAN DEPARTMENT OF TRANSPORTATION'S DENSITY TESTING AND INSPECTION MANUAL, EXCEPT WHEN ANOTHER TEST METHOD IS SPECIFIED.

**WORK HOURS**

- UNLESS PROVIDED OTHERWISE IN THE CONTRACT DOCUMENTS OR LIMITED BY LOCAL ORDINANCE, THE CONTRACTOR SHALL WORK WITHIN OF THE FOLLOWING TIMES, UNLESS OTHERWISE APPROVED BY THE OWNER:  
 MONDAY THROUGH FRIDAY 7 A.M. TO 8 P.M.  
 SATURDAY 8 A.M. TO 6 P.M.
- THE CONTRACTOR SHALL NOT WORK ON SUNDAYS OR HOLIDAYS, UNLESS OTHERWISE APPROVED BY THE OWNER.



**MT. PLEASANT CITY GATE - SITE VICINITY MAP**

NOTE: PROPERTY LINES AND ZONING CLASSIFICATIONS SHOWN ON THE SITE VICINITY MAP ARE TAKEN FROM ISABELLA COUNTY GIS MAPPING. ROWE HAS NOT FIELD VERIFIED THIS INFORMATION.

B-7 - RETAIL AND SERVICE HIGHWAY BUSINESS  
 I-2 - GENERAL INDUSTRIAL

**ORIGINAL DRAWING #**

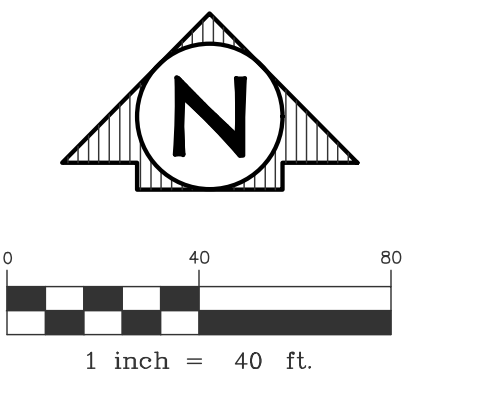
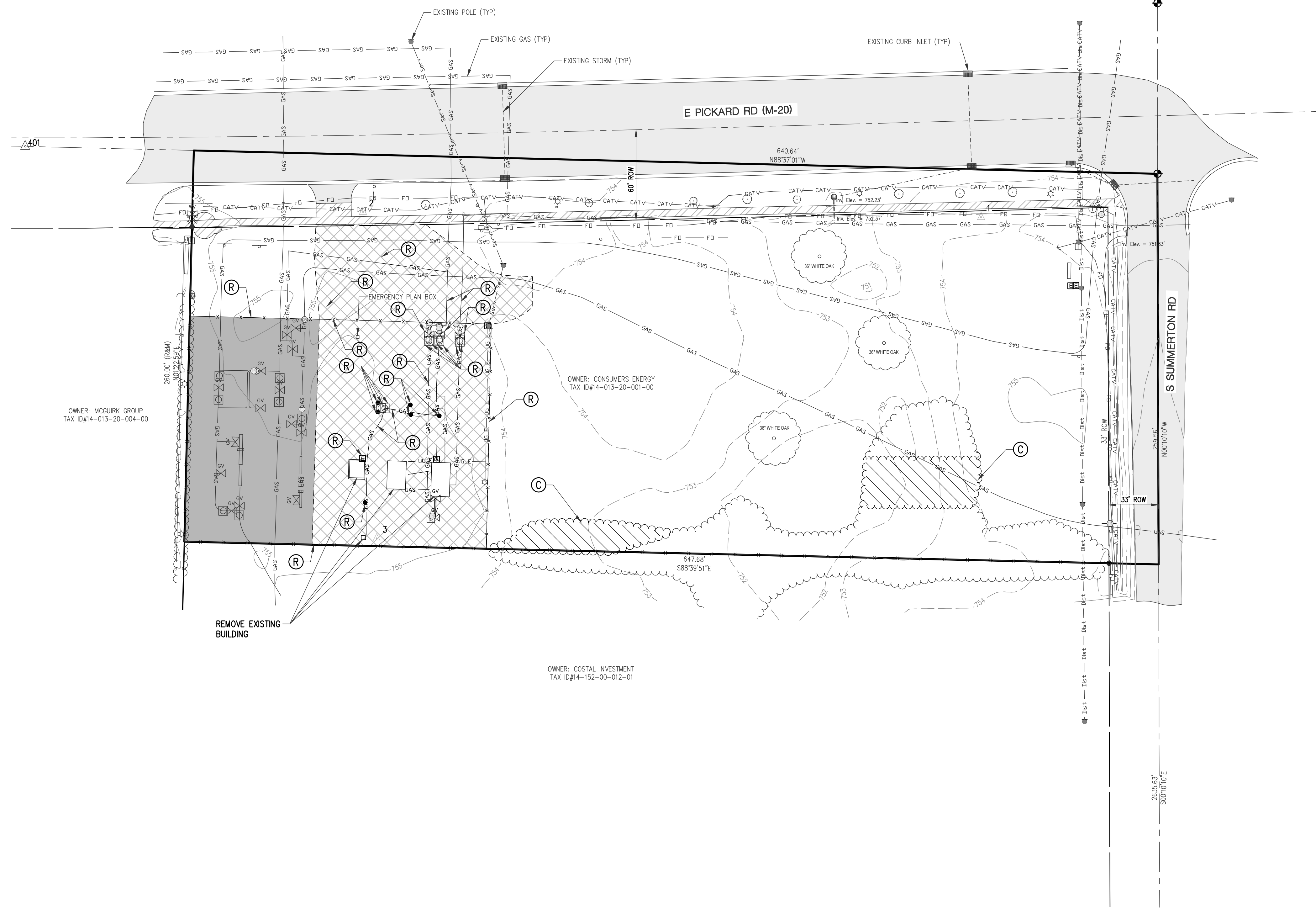
REFERENCE DRAWINGS NUMBERS	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	

DRAWN	CJA	DATE	NOV 2020
CHECKED	KEL	DATE	NOV 2020
DESIGNED	CJA	DATE	NOV 2020
DESIGN APPROVAL	DAS	DATE	NOV 2020
ENGINEER APPROVAL	DAS	DATE	NOV 2020

		<b>MT. PLEASANT CITY GATE RECONSTRUCT 2021 CONSTRUCTION</b>	
		<b>GENERAL NOTE SHEET</b>	
GEO-SPATIAL & GAS ASSET MANAGEMENT		FIELD AREA: PROJECT # 20C0219	DRAWING NO. <b>C-0251-PMT</b>
FILE: -- RASTER FILE:	SCALE N.T.S.	STA. NO. ---	SHEET <b>2</b>

DO NOT SCALE DRAWINGS USE DIMENSIONS ONLY





- LEGEND**
- ⊙ CARSONITE POST @ CORNER
  - ⊙ UTILITY POLE
  - ⊙ LIGHT POLE
  - ⊙ GUY ANCHOR
  - ⊙ TELEPHONE RISER
  - ⊙ ELECTRIC RISER
  - ⊙ SIGN
  - ⊙ POST (WOOD/METAL)
  - ⊙ ABOVE GRADE VERTICAL PIPE
  - ⊙ CURB INLET
  - ⊙ GASLINE MARKER
  - ⊙ GAS VALVE
  - ⊙ BLOWDOWN
  - ELECTRICAL CONDUIT
  - ⊙ SECTION CORNER
  - ⊙ FOUND/SET SURVEY

- ▭ EXISTING ASPHALT PAVEMENT
- ▭ EXISTING GRAVEL SURFACE
- ▭ REMOVE EXISTING GRAVEL
- ▭ EXISTING CONCRETE PAVEMENT
- ▭ PROPOSED CLEARING LIMITS
- x-x- EXISTING CHAIN LINK FENCE
- Dist-Dist- DISTRIBUTION OVERHEAD
- FD- FIBER OPTIC
- CATV-CATV- CABLE
- - - - - STORM SEWER
- H2O-H2O- WATER MAIN
- - - - - TELEPHONE OVERHEAD
- GAS- UNDERGROUND GAS
- ~~~~~ TREE / BRUSH LINE
- [E] ELECTRICAL BOX
- (R) REMOVE
- (C) CLEAR

**LOCATION MAP**  
NOT TO SCALE

SECTION 13 UNION TOWNSHIP T14N, R4W ISABELLA COUNTY

**BASIS OF BEARINGS**

MICHIGAN STATE PLANE COORDINATE SYSTEM  
SOUTH ZONE - NAD83 2011 - INTERNATIONAL FEET  
REFERENCED TO THE MICHIGAN SPATIAL REFERENCE NETWORK  
VRS NETWORK SOLUTION  
AVG COMBINED SCALE FACTOR = 0.99995595  
GROUND DISTANCES ARE SHOWN

**BASIS OF ELEVATIONS**

NAVD 88 DATUM (GEOID 12A)  
MICHIGAN SPATIAL REFERENCE NETWORK  
VRS NETWORK SOLUTION  
1 FOOT CONTOUR INTERVALS

**CONTROL POINT INFORMATION**

**CONTROL POINT #1**

SET 1/2" BAR & CAP (CE TRAV. PT.) 5.0' SOUTH OF BACK OF WALK, 95.0' WEST OF WEST BACK OF CURB SUMMERTON ROAD  
NORTHING 769667.550'  
EASTING 13027621.931'  
ELEV=754.13'

**CONTROL POINT #2**

SET 1/2" BAR & CAP (CE TRAV. PT.) 3.0' NORTH OF NORTH EDGE OF SIDEWALK, 7.5' WEST OF WEST EDGE OF CONCRETE DRIVE TO SITE  
NORTHING 769670.936'  
EASTING 13027211.132'  
ELEV=754.36'

**CONTROL POINT #3**

SET 1/2" BAR & CAP (CE TRAV. PT.) 5.0' NORTH OF SITE FENCE, 7.5' EAST OF BURNER  
NORTHING 769454.091'  
EASTING 13027220.199'  
ELEV=755.28'

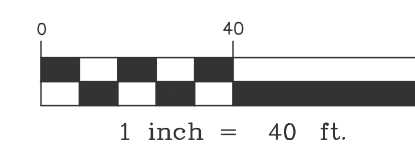
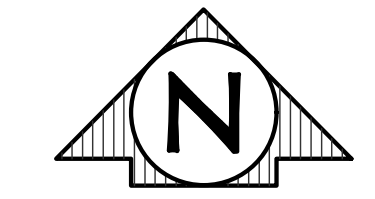
ORIGINAL DRAWING #

REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO

	<b>MT. PLEASANT CITY GATE RECONSTRUCT 2021 CONSTRUCTION</b>	
	<b>EXISTING SURVEY AND REMOVAL SHEET</b>	
 GEO-SPATIAL & GAS ASSET MANAGEMENT	FIELD AREA:	DRAWING NO.
	PROJECT # 20C0219	SHEET REV
FILE: -- RASTER FILE:	STA. NO. ---	<b>C-0251-PMT</b>
SCALE 1" = 40'	<b>3</b>	

DO NOT SCALE DRAWINGS USE DIMENSIONS ONLY





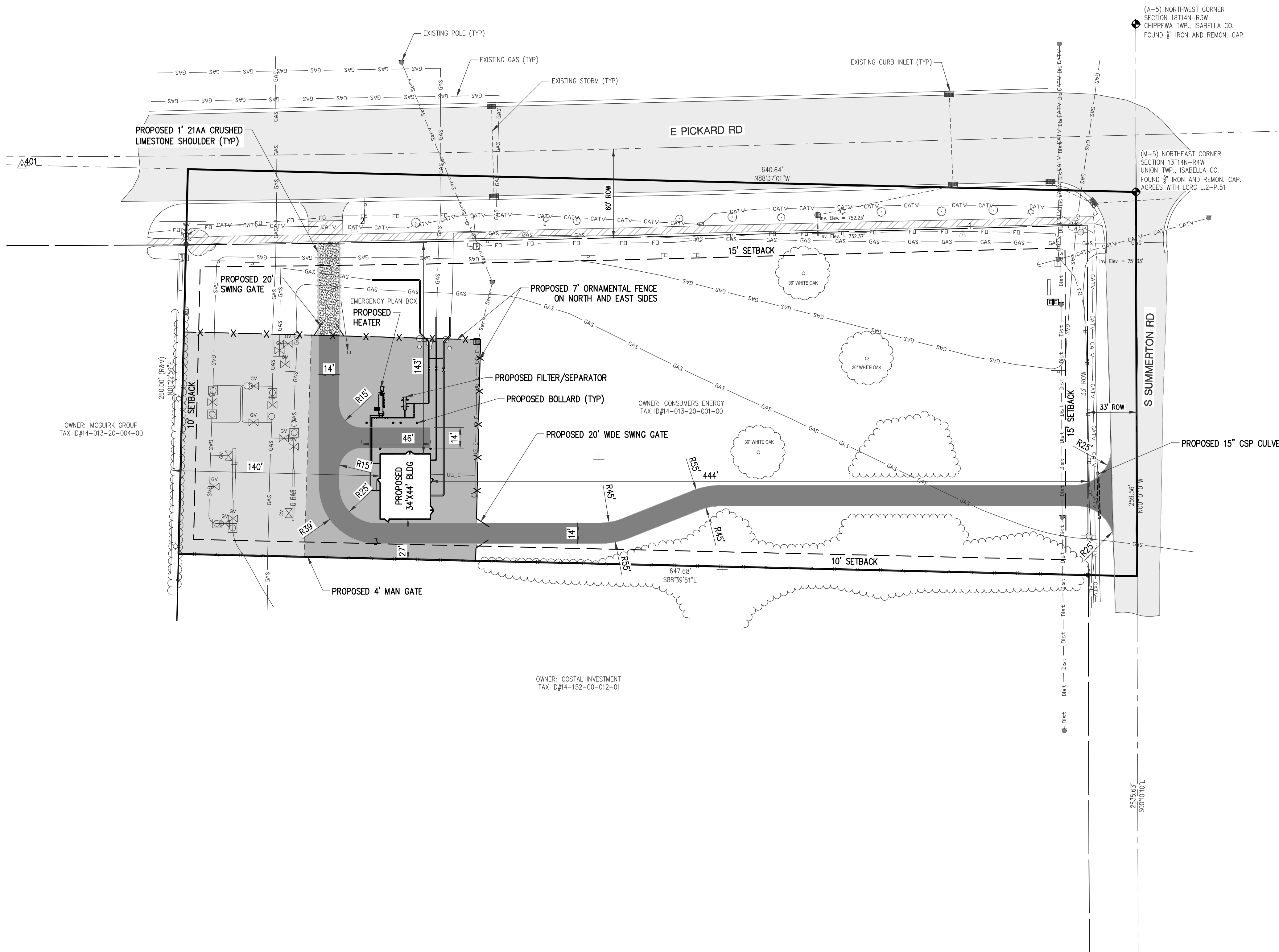
**LEGEND**

- ⊙ CARSONITE POST @ CORNER
- ⊙ UTILITY POLE
- ☆ LIGHT POLE
- ↓ GUY ANCHOR
- TELEPHONE RISER
- ELECTRIC RISER
- SIGN
- POST (WOOD/METAL)
- ⊕ ABOVE GRADE VERTICAL PIPE
- ⊕ CURB INLET
- ◇ GASLINE MARKER
- ⊕ GAS VALVE
- ⊕ BLOWDOWN
- ELECTRICAL CONDUIT
- ⊕ SECTION CORNER
- FOUND/SET SURVEY
- ▭ EXISTING ASPHALT PAVEMENT
- ▭ EXISTING GRAVEL SURFACE
- ▭ PROPOSED GRAVEL YARD
- ▭ PROPOSED GRAVEL DRIVE
- ▭ PROPOSED ASPHALT PAVEMENT
- ▭ EXISTING CONCRETE PAVEMENT
- X—X— EXISTING CHAIN LINK FENCE
- X— PROPOSED SWING GATE
- Dist—Dist— DISTRIBUTION OVERHEAD
- FD— FIBER OPTIC
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- STORM SEWER
- PROPOSED CULVERT
- H2O—H2O— WATER MAIN
- TELEPHONE OVERHEAD
- GAS— UNDERGROUND GAS
- ~~~~~ TREE / BRUSH LINE
- ⊕ ELECTRICAL BOX

DISTRICT SETBACK TABLE								
	DISTRICT	DESCRIPTION	FLOOR AREA	MAX. HEIGHT	MINIMUM FRONT YARD	MINIMUM SIDE YARDS	MINIMUM REAR YARD	LOT COVERAGE (BUILDINGS)
REQUIRED	RETAIL & SERVICE HIGHWAY BUSINESS DISTRICT	PUBLIC UTILITY ESSENTIAL SERVICE	NONE	35'	15'	10'	10'	EXISTING 35% MAX
PROVIDED	RETAIL & SERVICE HIGHWAY BUSINESS DISTRICT	PUBLIC UTILITY ESSENTIAL SERVICE	1496 SFT	9' EAVE	143'-E PICKARD 444'-S SUMMERTON	140'	27'	PROPOSED 0.9%

**SITE PLAN NOTES:**

1. THE SITE WILL NOT BE REGULARLY OCCUPIED. EMPLOYEES WILL ROUTINELY VISIT THE AREA TO PERFORM REGULAR INSPECTIONS AND ROUTINE MAINTENANCE. THERE IS SUFFICIENT SPACE FOR THE ANTICIPATED PARKING NEEDS. THESE SPACES WILL NOT BE DELINEATED IN THE FIELD.
2. THE PROPOSED BUILDING WILL NOT UTILIZE PUBLIC WATER OR SANITARY SEWER, NOR WILL THE SITE MAKE USE OF A PRIVATE WELL OR SEPTIC SYSTEM.
3. THE BUILDING WILL BE SERVED BY ELECTRICAL SERVICE.
4. THE PROPOSED PROJECT WILL NOT IMPACT ANY WETLANDS.
5. THE PROPOSED PROJECT WILL NOT IMPACT THE FLOODPLAIN.
6. THE PROJECT WILL INCLUDE REPLACEMENT OF THE EXISTING CHAIN LINK FENCE ON THE NORTH AND EAST SIDES. THE NEW FENCE WILL BE A 7' HIGH DECORATIVE FENCE CONSTRUCTED OF PAINTED METAL. THERE WILL BE TWO 20' WIDE SWING GATES (NORTH AND EAST). ALL GATES WILL BE LOCKED.
7. THERE WILL BE ONE NEW GRAVEL ACCESS DRIVE ALONG S SUMMERTON ROAD. NO WORK SHALL TAKE PLACE WITHIN THE ROAD RIGHT OF WAY WITHOUT AN APPROVED PERMIT FROM THE ISABELLA COUNTY ROAD COMMISSION.
8. SIGNAGE WILL BE LIMITED TO 2'x1' CAUTION SIGNS MOUNTED ON THE FENCE AT VARIOUS LOCATIONS.
9. REFER TO THE UNION TOWNSHIP ENGINEERING DESIGN STANDARDS FOR ADDITIONAL STANDARDS.
10. ALL PROPOSED POLE MOUNTED LIGHT FIXTURES WILL BE DOWNWARD DIRECTED. ADDITIONAL LIGHTS WILL BE MOUNTED OVER DOORS. ALL LIGHT FIXTURES WILL BE PROVIDED WITH A PHOTO SENSOR AND SWITCH TO ALLOW DUSK TO DAWN OPERATING WHEN DESIRED.



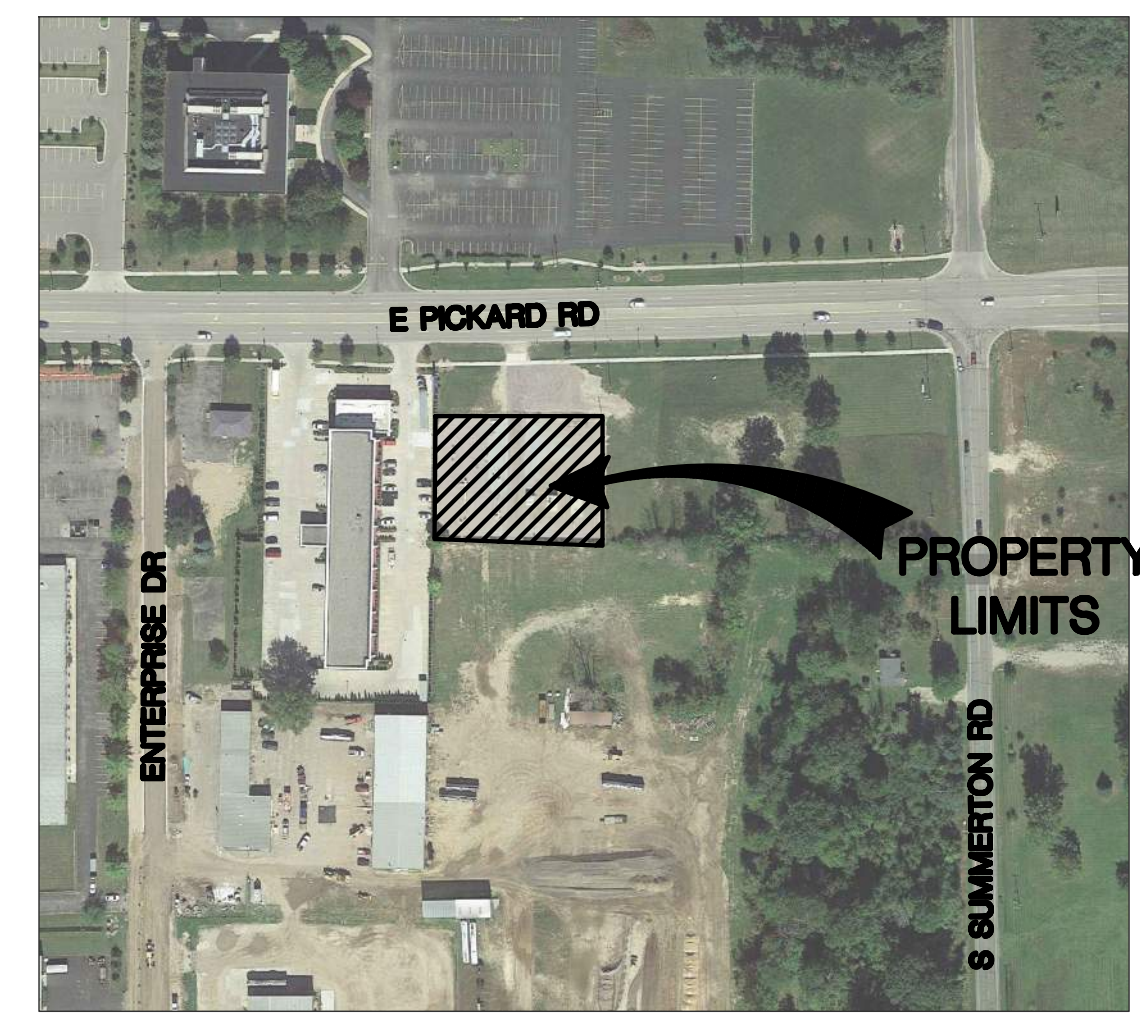
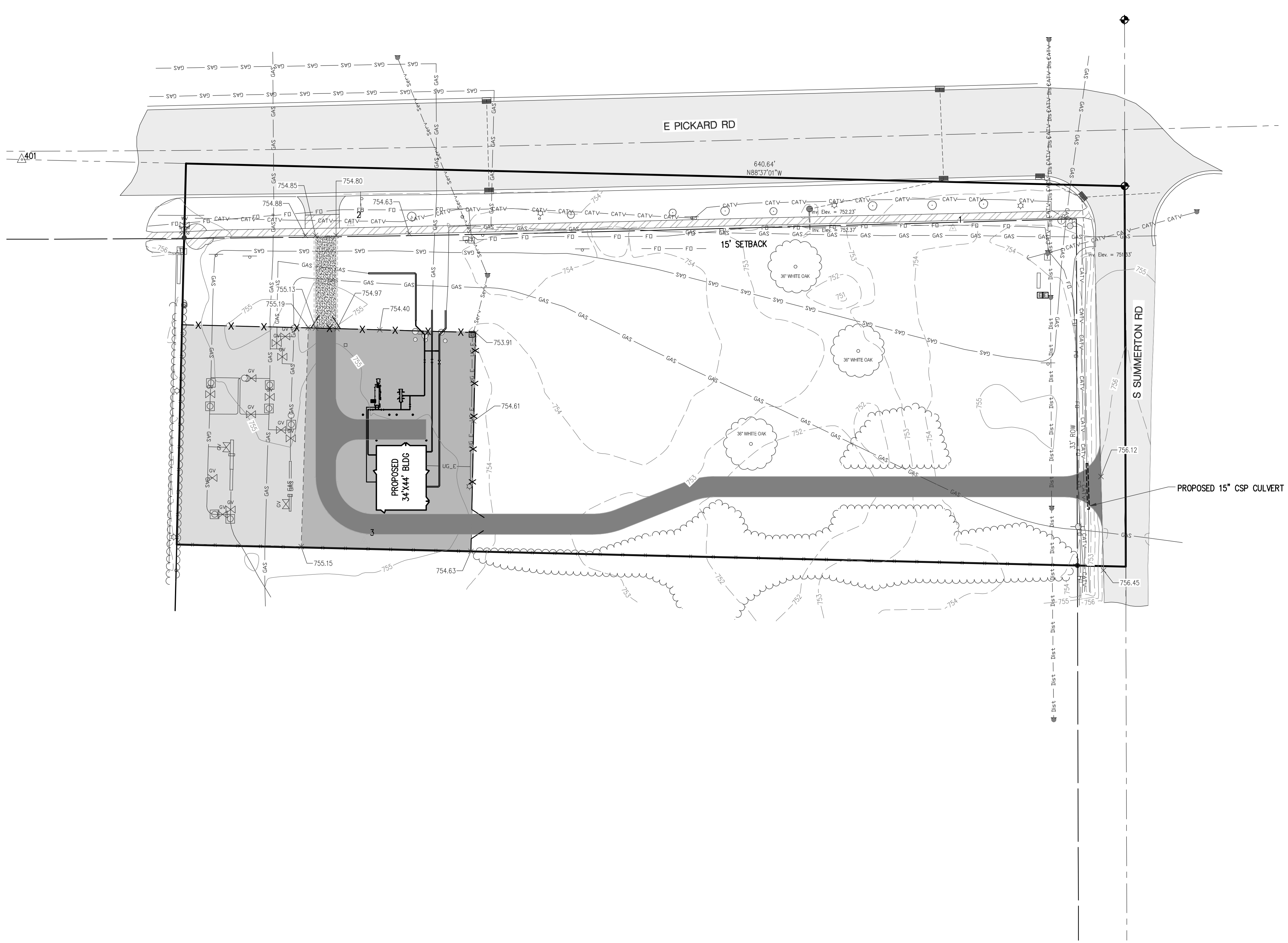
ORIGINAL DRAWING #

REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO

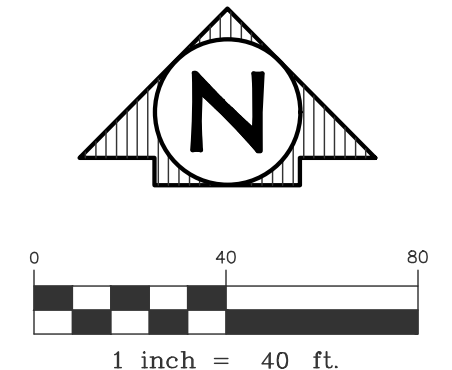
	<b>MT. PLEASANT CITY GATE RECONSTRUCT 2021 CONSTRUCTION</b>	
	<b>SITE PLAN SHEET</b>	
 GEO-SPATIAL & GAS ASSET MANAGEMENT	FIELD AREA:	DRAWING NO.
	PROJECT # 20C0219	SHEET REV
FILE: -- RASTER FILE:	STA. NO. ---	<b>C-0251-PMT</b>
SCALE 1" = 40'	<b>4</b>	

DO NOT SCALE DRAWINGS USE DIMENSIONS ONLY





WALLED LAKE CITY GATE - LOCATION MAP  
NOT TO SCALE



- LEGEND**
- EXISTING GRAVEL SURFACE
  - PROPOSED GRAVEL SURFACE - YARD
  - PROPOSED GRAVEL SURFACE - DRIVE
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - SILT FENCE
  - 604.4
 PROPOSED SPOT ELEVATION
  - M/E
 SURFACE DRAINAGE FLOW
  - B/S
 MATCH EXISTING
  - T/S
 BOTTOM OF SWALE
  - T/S
 TOP OF SWALE

PROJECT COMPLETION SCHEDULE											
CONSTRUCTION OPERATIONS											
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	
STRIP & STOCKPILE TOPSOIL / GRAVEL											
DEMOLITION											
YARD PAVING REPLACEMENT											
BUILDING ERECTION											
ROUGH GRADING											
FINISH GRADING / RESTORATION											
FENCE / GATE REPLACEMENT											
PUNCH LIST COMPLETION											

SOIL EROSION/SEDIMENTATION CONTROL											
OPERATION TIME SCHEDULE											
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	
STRIP & STOCKPILE TOPSOIL											
ROUGH GRADE SEDIMENT CONTROL											
TEMP. CONTROL MEASURES											
STORM FACILITIES											
TEMP. CONSTRUCTION ROADS											
SITE CONSTRUCTION											
PERM. CONTROL MEASURES											
FINISH GRADING											
REMOVE TEMP. CONTROL MEASURES											

**SESC PLAN NOTES:**

OWNER INFORMATION  
 CONSUMERS ENERGY  
 1945 W. PARNELL RD  
 JACKSON, MI 49201  
 (517) 768-1843  
 DENISE KENNEY

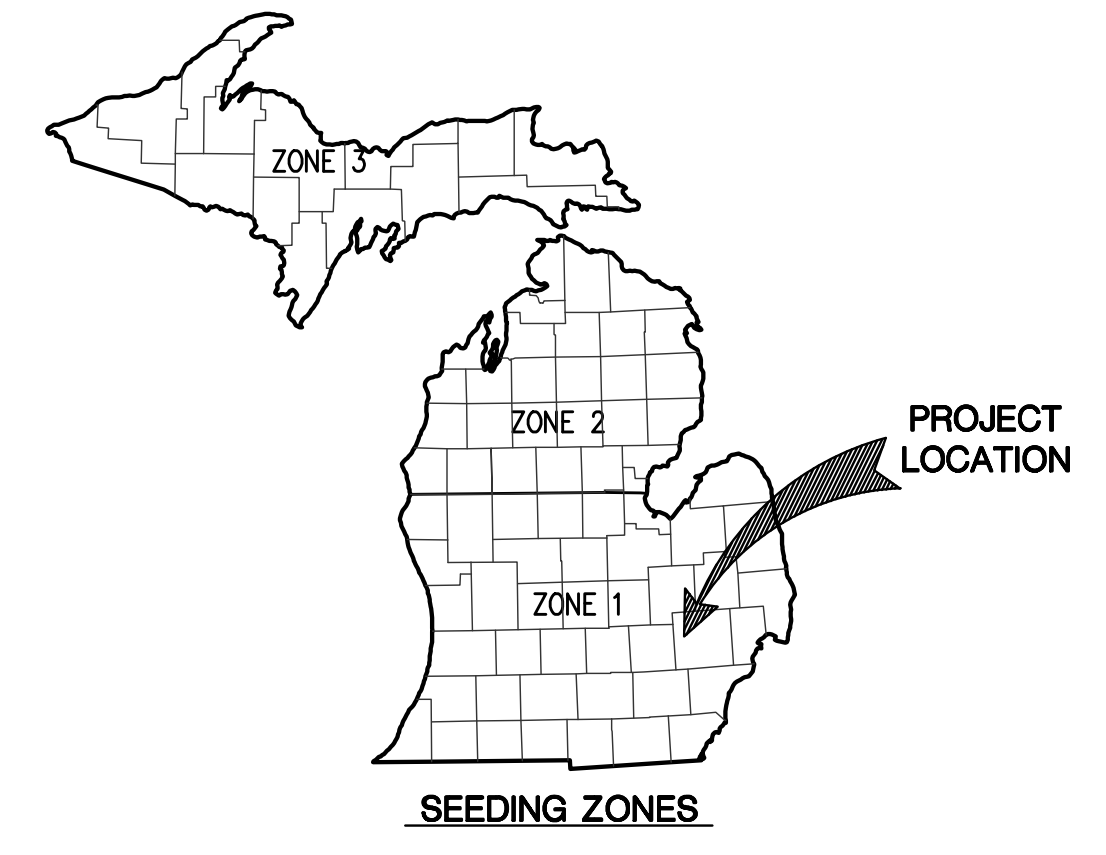
SITE ADDRESS  
 E PICKARD ROAD  
 MT. PLEASANT, MI 48858  
 UNION TOWNSHIP, ISABELLA COUNTY

PROJECT NAME  
 MT. PLEASANT CITY GATE RECONSTRUCT

PROXIMITY TO WATERS OF STATE  
 PONDS 1520 FT NORTH OF THE SITE

100 YEAR FLOODPLAIN  
 PER FEMA COMMUNITY MAP PANEL NUMBER  
 26073C03300, DATED FEBRUARY 5, 2014

AREA OF DISTURBANCE  
 2.9 ACRES



TEMPORARY SEEDING GUIDE											
ZONE 1											
TYPE OF SEED	APR	MAY	JUN	JUL	AUG	SEP	OCT				
SPRING OATS/BARLEY OR DOMESTIC RYEGRASS											
SUDANGRASS											
RYE OR PERENNIAL RYE											
WHEAT											

PERMANENT SEEDING GUIDE											
ZONE 1											
IRRIGATED AND/OR MULCH	APR	MAY	JUN	JUL	AUG	SEP	OCT	ZONE 1			
WITHOUT IRRIGATION OR MULCH											
IRRIGATED AND/OR MULCH											
WITHOUT IRRIGATION OR MULCH											
IRRIGATED AND/OR MULCH											
WITHOUT IRRIGATION OR MULCH											

**MICHIGAN UNIFIED KEYING SYSTEM**

14	AGGREGATE COVER	STABILIZED SOIL SURFACE. THIS MINORAL PROBLEM PERMITS CONSTRUCTION TRAFFIC IN ADVERSE WEATHER. MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS.
54	SILT FENCE	USES RECYCLED FABRIC AND PILES OR POLES. EASY TO CONSTRUCT AND LOCATE AS NEEDED.
6	SEEDING WITH MULCH AND/OR MATTING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER EFFECTIVE FOR EROSION CONTROL WITH LOW VELOCITY. EASILY PLACED BY HAND OR QUANTITIES BY MECHANIZED PERSONNEL. SHOULD INCLUDE PREPARED TOPSOIL BED.

ORIGINAL DRAWING #

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	ENGINEER APPROVAL	DATE	

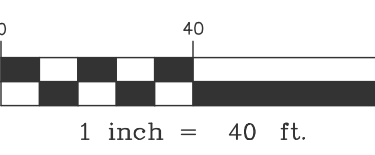
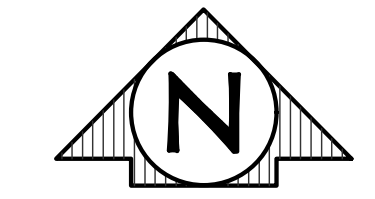
 <b>ROWE PROFESSIONAL SERVICES COMPANY</b>	<b>MT. PLEASANT CITY GATE RECONSTRUCT 2021 CONSTRUCTION</b>	
	<b>GRADING AND SESC SHEET</b>	
 <b>Count on Us®</b> GEO-SPATIAL & GAS ASSET MANAGEMENT	FIELD AREA:	PROJECT # 20C0219
	STA. NO. ---	DRAWING NO. <b>C-0251-SPL</b>
FILE: -- RASTER FILE:	SCALE: 1" = 40'	SHEET REV: <b>1</b>

DO NOT SCALE DRAWINGS USE DIMENSIONS ONLY



**LANDSCAPE NOTES:**

- ALL LANDSCAPE MATERIALS SHALL BE HEALTHY AT THE TIME OF INSTALLATION.
- CONTRACTOR SHALL SUPPLY FINISH GRADE AND EXCAVATE AS NECESSARY TO SUPPLY A MINIMUM 6" TOPSOIL DEPTH IN ALL PLANTING BEDS AND 4" TOPSOIL IN ALL LAWN AREAS UNLESS NOTED OTHERWISE.
- ALL TOPSOIL SHALL BE IMPORTED AND SCREENED. EXISTING TOPSOIL MAY ONLY BE REUSED IF APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANTS TO BE IN A HEALTHY CONDITION FOR A PERIOD OF TWO YEARS FOLLOWING ACCEPTANCE. CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE OWNER'S REPRESENTATIVE DURING AND AT THE END OF THE GUARANTEE PERIOD.
- ALL PLANTINGS SHALL CONFORM TO ANSI 260.1 OR CURRENT EDITION.
- AREAS SPECIFIED WITH PLANT MATERIAL SHALL BE FINE GRADED AND SEEDED FOR TURF ESTABLISHMENT.
- ALL EXCESS EXCAVATED MATERIALS AND DEBRIS WHICH ARE NOT ACCEPTED FOR DISPOSAL ON SITE BY THE OWNER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF LEGALLY OFF SITE.
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING ON LAWN AREAS OR AROUND TREES & SHRUBS.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY MATERIAL NOT MEETING SPECIFICATIONS.
- THE CONTRACTOR SHALL PLACE 4" OF SHREDDED BARK MULCH IN LANDSCAPE BEDS FOR SPECIFICATIONS.
- STEEL LANDSCAPE EDGING IS TO BE INSTALLED ALONG PLANTING BED EDGES WHERE MULCH AND LAWN MEET.
- IRRIGATION WILL BE PROVIDED THROUGHOUT THE SITE TO ENSURE THE HEALTH OF THE PLANTINGS SHOWN.
- ALL LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY ENVIRONMENT. THE OWNER SHALL MAINTAIN THE LANDSCAPING USING OWN STAFF OR CONTRACT WITH AN OUTSIDE LANDSCAPING SERVICE.

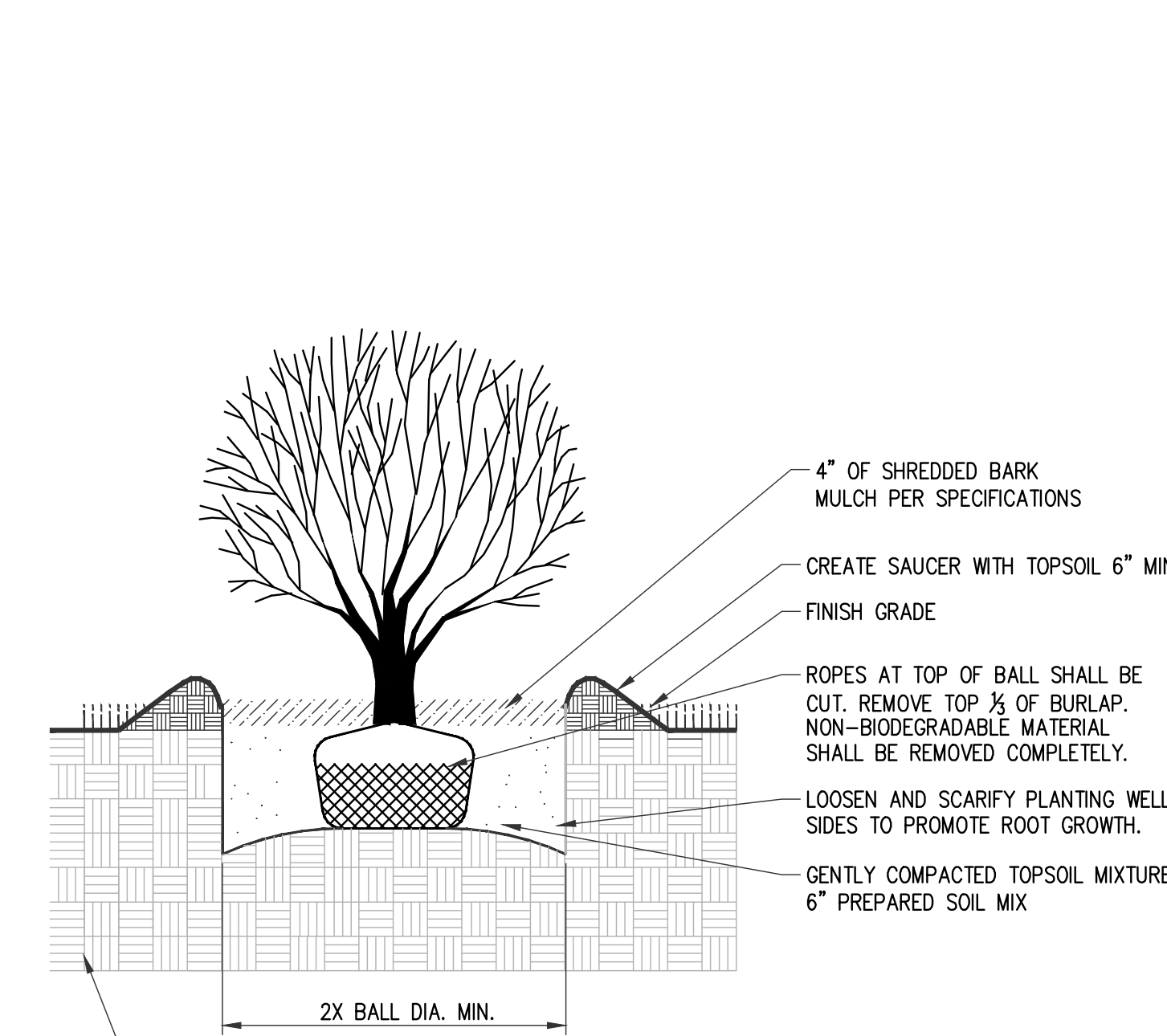
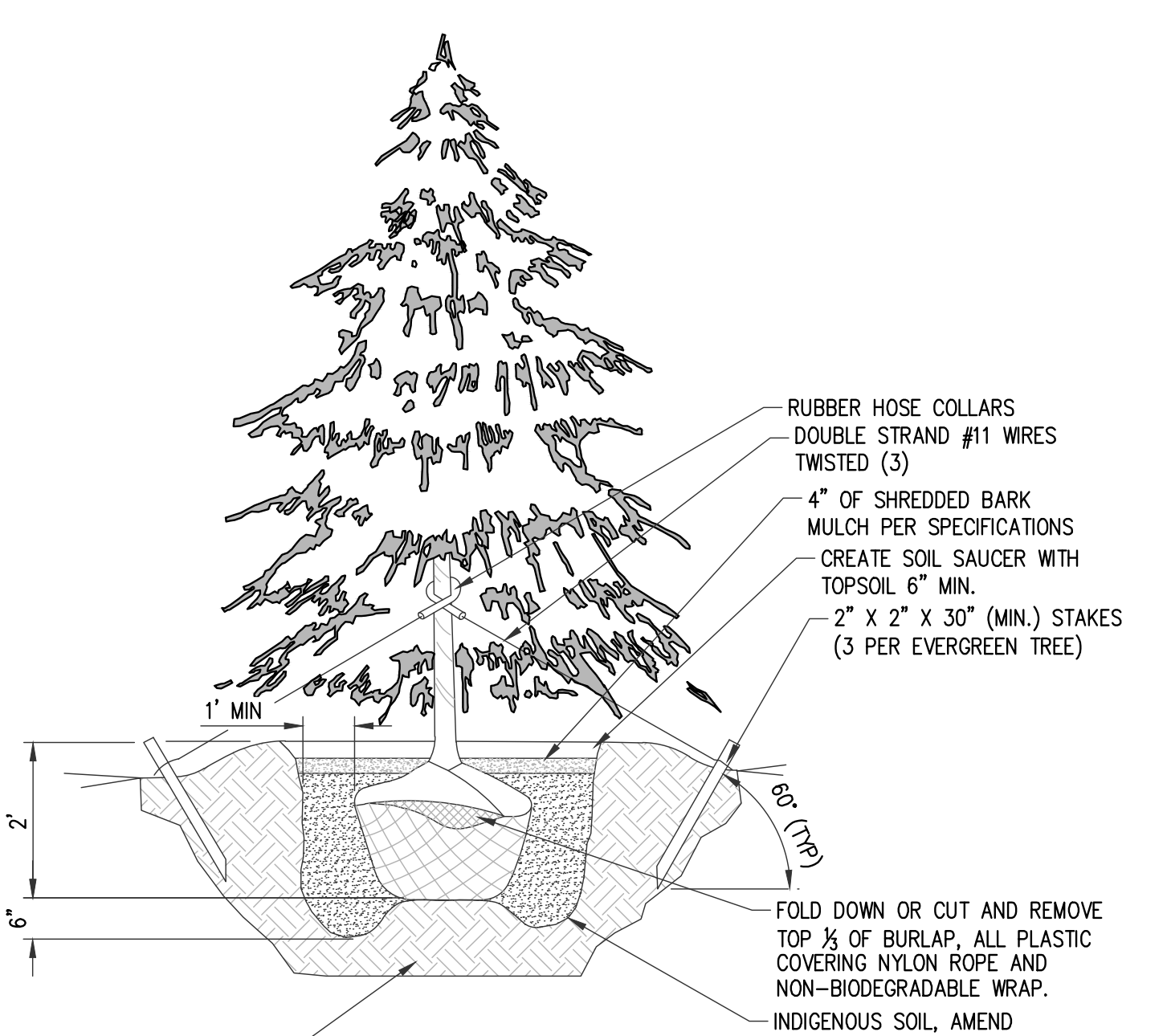
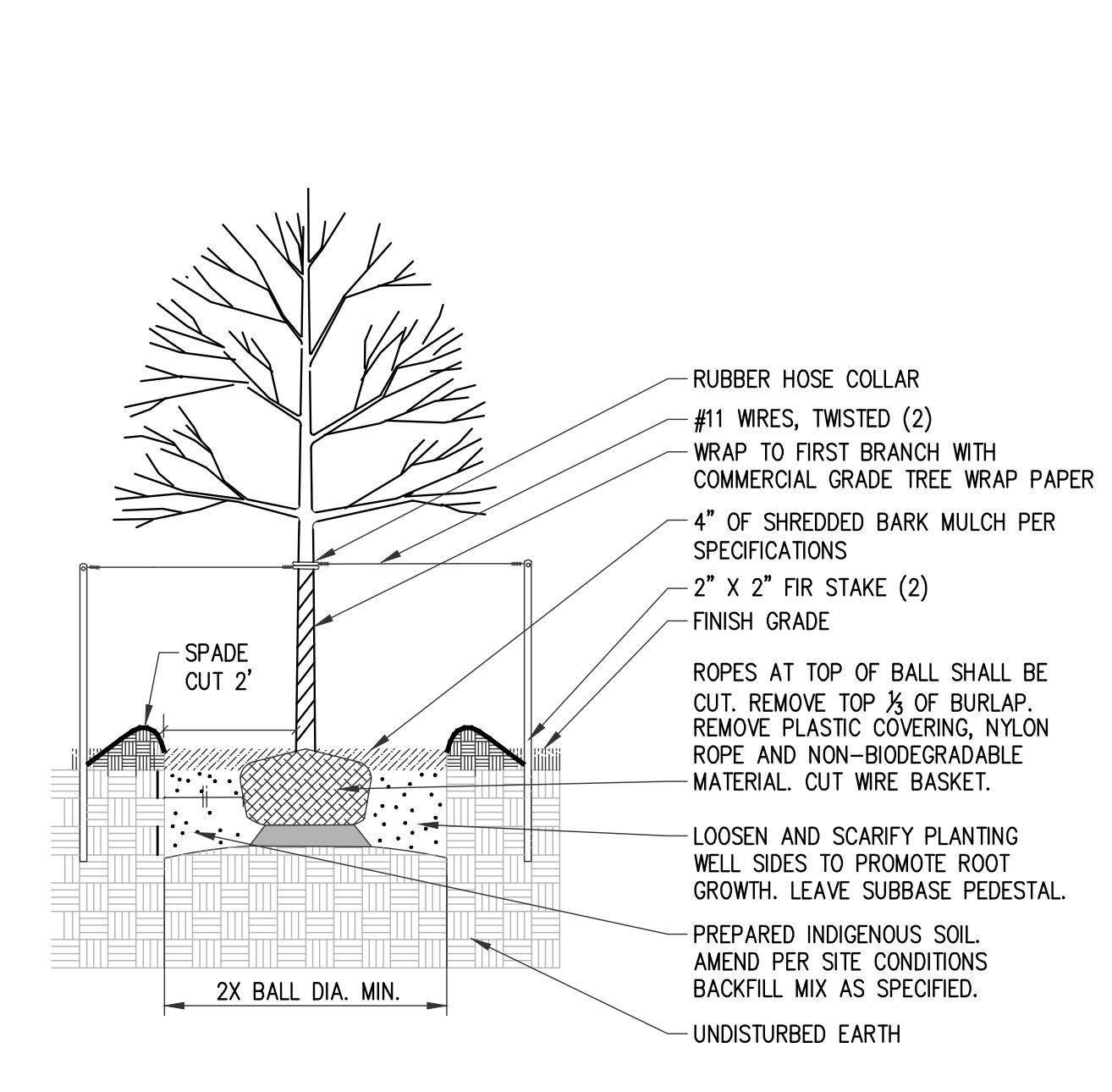
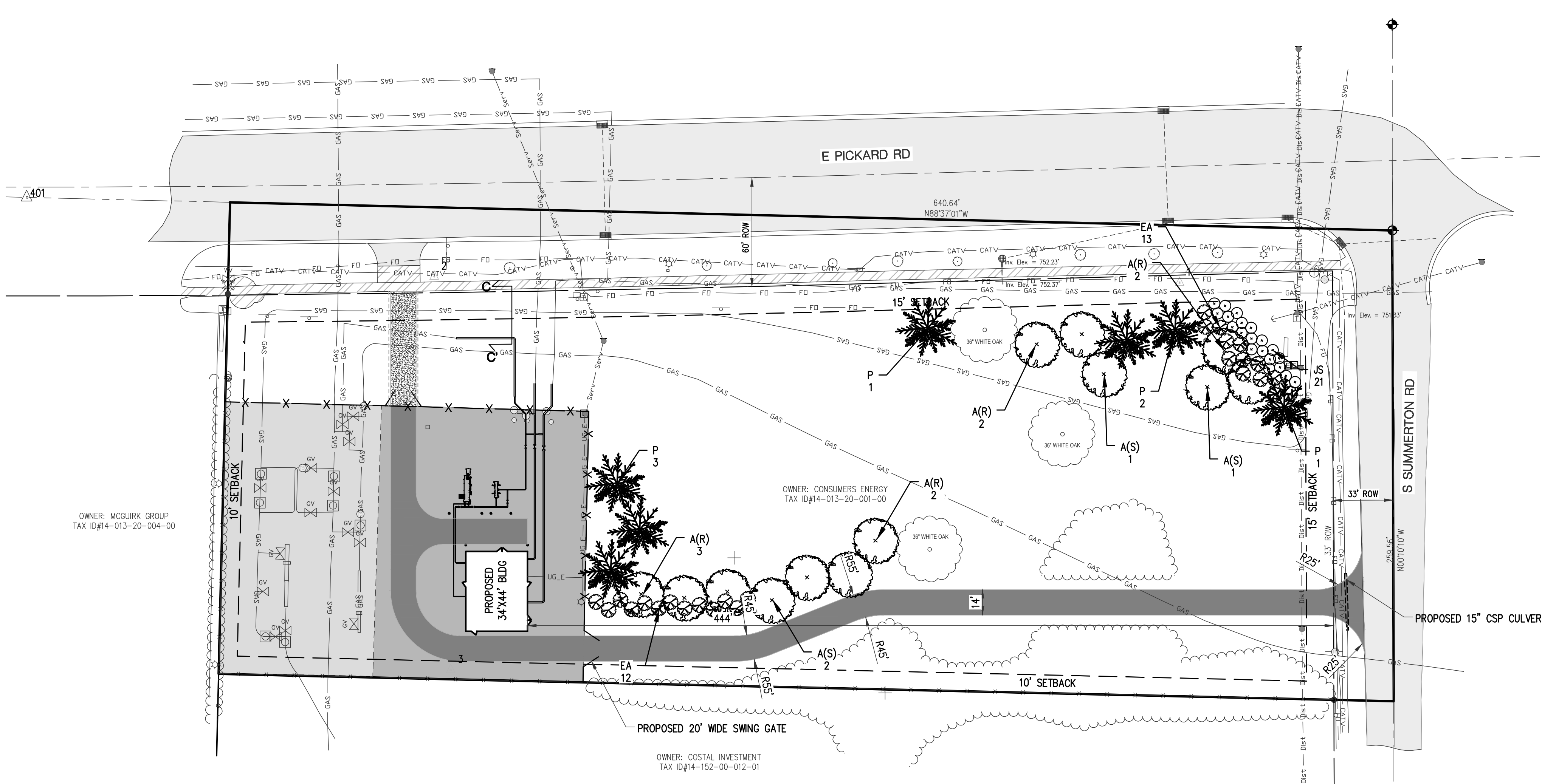


**LEGEND**

- ⊙ CARSONITE POST @ CORNER
- UTILITY POLE
- ☆ LIGHT POLE
- ↓ GUY ANCHOR
- TELEPHONE RISER
- ELECTRIC RISER
- SIGN
- POST (WOOD/METAL)
- ⊙ ABOVE GRADE VERTICAL PIPE
- ⊞ CURB INLET
- ◇ GASLINE MARKER
- ⊞ GAS VALVE
- ⊞ BLOWDOWN
- ELECTRICAL CONDUIT
- ⊞ SECTION CORNER
- FOUND/SET SURVEY
- ▭ EXISTING ASPHALT PAVEMENT
- ▭ EXISTING GRAVEL SURFACE
- ▭ PROPOSED GRAVEL YARD
- ▭ PROPOSED GRAVEL DRIVE
- ▭ EXISTING CONCRETE PAVEMENT
- x-x- EXISTING CHAIN LINK FENCE
- X- PROPOSED SWING GATE
- Dist- DIST. DISTRIBUTION OVERHEAD
- FD- FIBER OPTIC
- CATV- CABLE
- - - - STORM SEWER
- - - - PROPOSED CULVERT
- HED- WATER MAIN
- - - - TELEPHONE OVERHEAD
- GAS- UNDERGROUND GAS
- ~ ~ ~ TREE / BRUSH LINE
- ⊞ ELECTRICAL BOX

TREE SCHEDULE						
SYM	KEY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES	QUANTITY
⊙	A(R)	2 1/2" CAL.	ACER RUBRUM	RED MAPLE	B & B	9
⊙	A(S)	2" CAL.	ACER SACCHARUM	SUGAR MAPLE	B & B	4
⊙	P	6' HT.	PICEA ABIES	NORWAY SPRUCE	B & B	7

PLANT SCHEDULE					
SYM	KEY	BOTANICAL NAME	COMMON NAME	NOTES	QUANTITY
⊙	EA	EUONYMUS ALATA 'COMPACTA'	COMPACT BURNING BUSH	B & B; 4' HT.	25 @ 6' SPACING
⊙	JS	JUNIPERUS SABINA	BUFFALO JUNIPER	NO. 5 CONT.; 18" HT.	21 @ 4' SPACING



**DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE

**TYPICAL EVERGREEN PLANTING DETAIL**  
NOT TO SCALE

**SHRUB PLANTING DETAIL**  
NOT TO SCALE

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	

		<b>MT. PLEASANT CITY GATE RECONSTRUCT 2021 CONSTRUCTION</b>	
		<b>LANDSCAPING SHEET</b>	
GEO-SPATIAL & GAS ASSET MANAGEMENT		FIELD AREA:	
FILE: -- RASTER FILE:		PROJECT # 20C0219	
SCALE 1" = 40'		DRAWING NO. <b>C-0251-SPL</b>	
SHEET 2		STA. NO. ---	



PL-Q  
EXHIBIT 'QA'

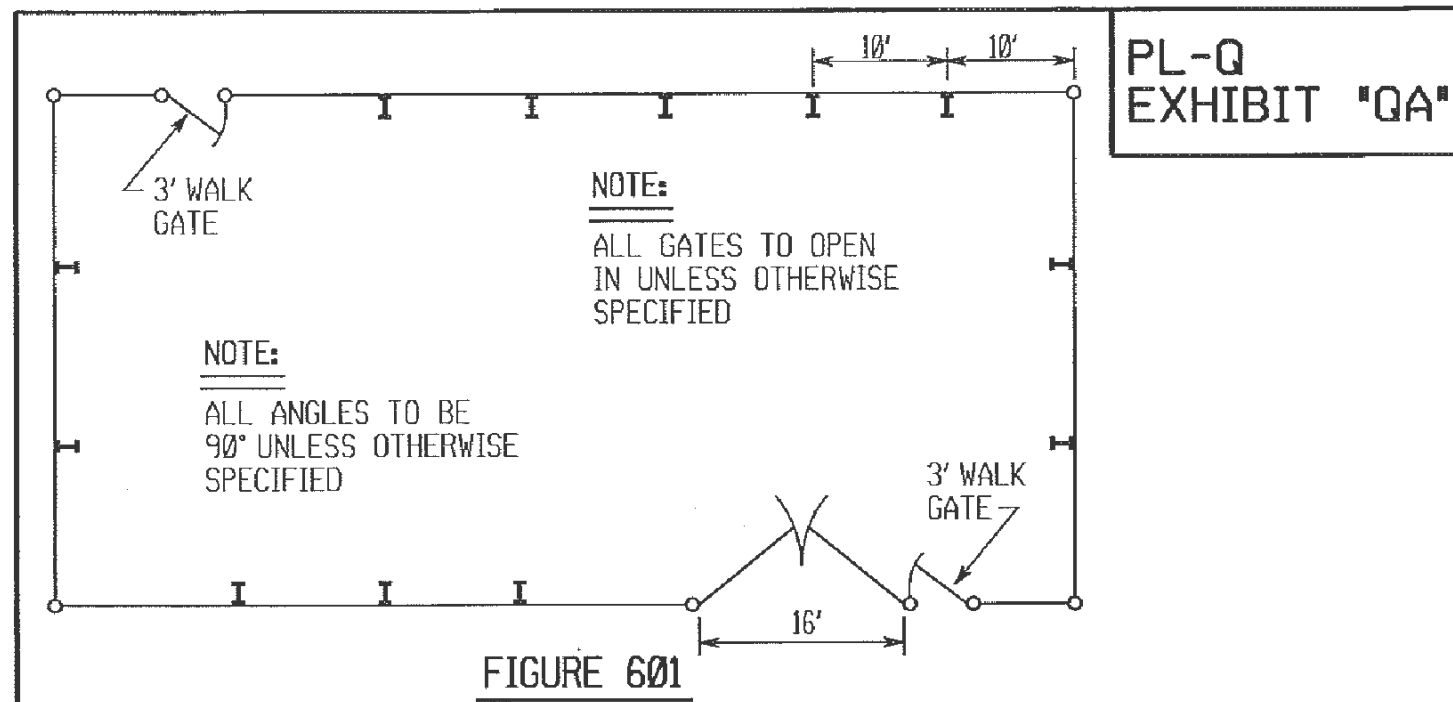


FIGURE 601  
TYPICAL FENCE LAYOUT PLAN

A DRAWING SIMILAR TO FIGURE 601 SHALL ACCOMPANY ALL FENCE ORDERS. THE DRAWING SHALL INDICATE ALL FENCE ANGLES ALSO GATES AND REMOVABLE SECTIONS SIZES AND LOCATIONS. REFER TO EXHIBITS 'QA' THROUGH 'QE' FOR MATERIAL, FABRICATION AND ERECTION DETAILS.

NAME OF PART	NOMINAL PIPE SIZE	POST DEPTH IN FOOTING	MINIMUM FOOTING DIMENSIONS		
			TOP DIA	BOTTOM DIA	FOOTING DEPTH
LINE POST	SEE NOTE 2	3'-0"	0'-10"	1'-2"	4'-0"
CORNER POST	4	3'-0"	1'-0"	1'-4"	4'-0"
END AND ANGLE POST	4	3'-0"	1'-0"	1'-4"	4'-0"
SINGLE GATE POST, WIDTH 6' AND UNDER	3	3'-0"	1'-0"	1'-4"	4'-0"
SINGLE GATE POST, WIDTH OVER 6' TO 13'	4	4'-0"	1'-4"	2'-0"	4'-0"
DOUBLE GATE POST, WIDTH 12' AND UNDER	3	3'-0"	1'-0"	1'-4"	4'-0"
DOUBLE GATE POST, WIDTH OVER 12' TO 26'	4	4'-0"	1'-4"	2'-0"	4'-0"
SLIDE GATE POST WIDTH 24' AND UNDER	4	4'-0"	1'-4"	2'-0"	4'-0"
GATE AND REMOVABLE SECTION FRAME	2				
TOP RAIL	1 1/4				
BRACE	1 1/4				
REMOVABLE POST	2 1/2		1'-5"	1'-5"	3'-0"
GATE PLUNGER STOP (OR CATCH)			0'-10"	1'-2"	3'-0"
GATE KEEPER			0'-7"	0'-10"	3'-0"

FIGURE 602

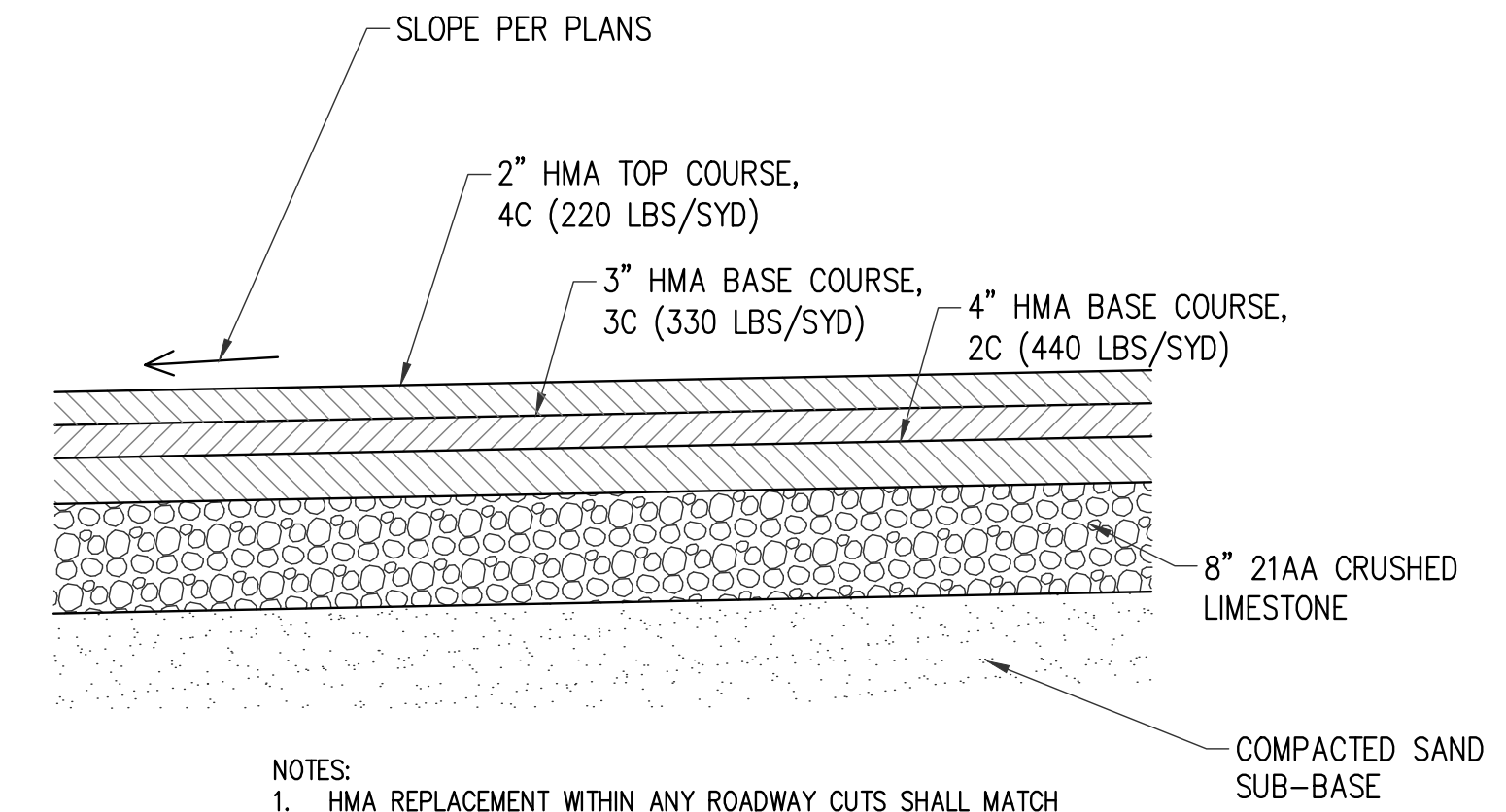
NOTES:

- ALL DIMENSIONS ARE IN INCHES EXCEPT AS NOTED.
- EITHER 2 1/4" X 3.26 LB/FT H BEAM OR 2 1/2" PIPE MAY BE USED.

REFERENCES: A-15003

**FENCE DETAILS**

NOT TO SCALE

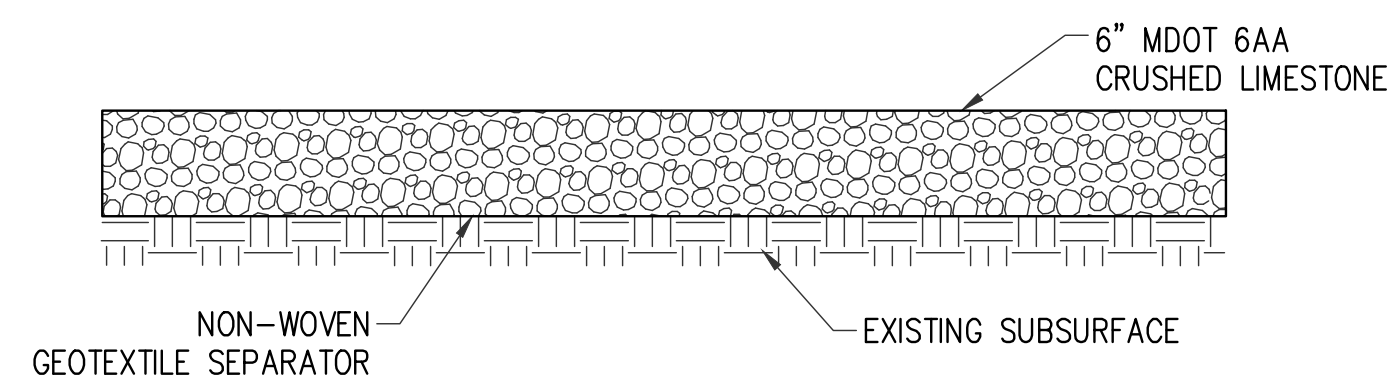


**HMA DRIVEWAY CROSS SECTION**

NOT TO SCALE

NOTES:

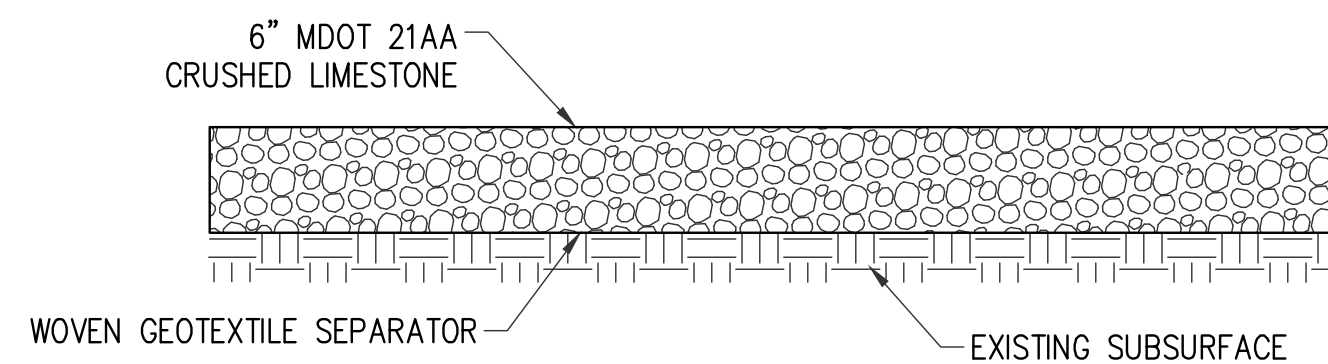
- HMA REPLACEMENT WITHIN ANY ROADWAY CUTS SHALL MATCH THE EXISTING HMA THICKNESS.
- A 1' 21AA CRUSHED LIMESTONE SHOULDER SHALL BE PLACED ON EITHER SIDE OF THE DRIVEWAY.
- THE WIDTH OF THE DRIVEWAY SHALL BE 14'.



- NOTES:
- NON-WOVEN GEOTEXTILE SEPARATOR SHALL BE MIRAFI 180N, SYNTHETIC INDUSTRIES 801 OR AN ENGINEER APPROVED EQUIVALENT PRODUCT.
  - THIS CROSS SECTION WILL BE USED FOR THE ENTIRE YARD SURFACE, EXCEPT FOR AREAS DESCRIBED AS DRIVEWAYS, AS SHOWN ON THE SITE DRAWINGS.

**AGGREGATE SURFACE CROSS SECTION (YARD)**

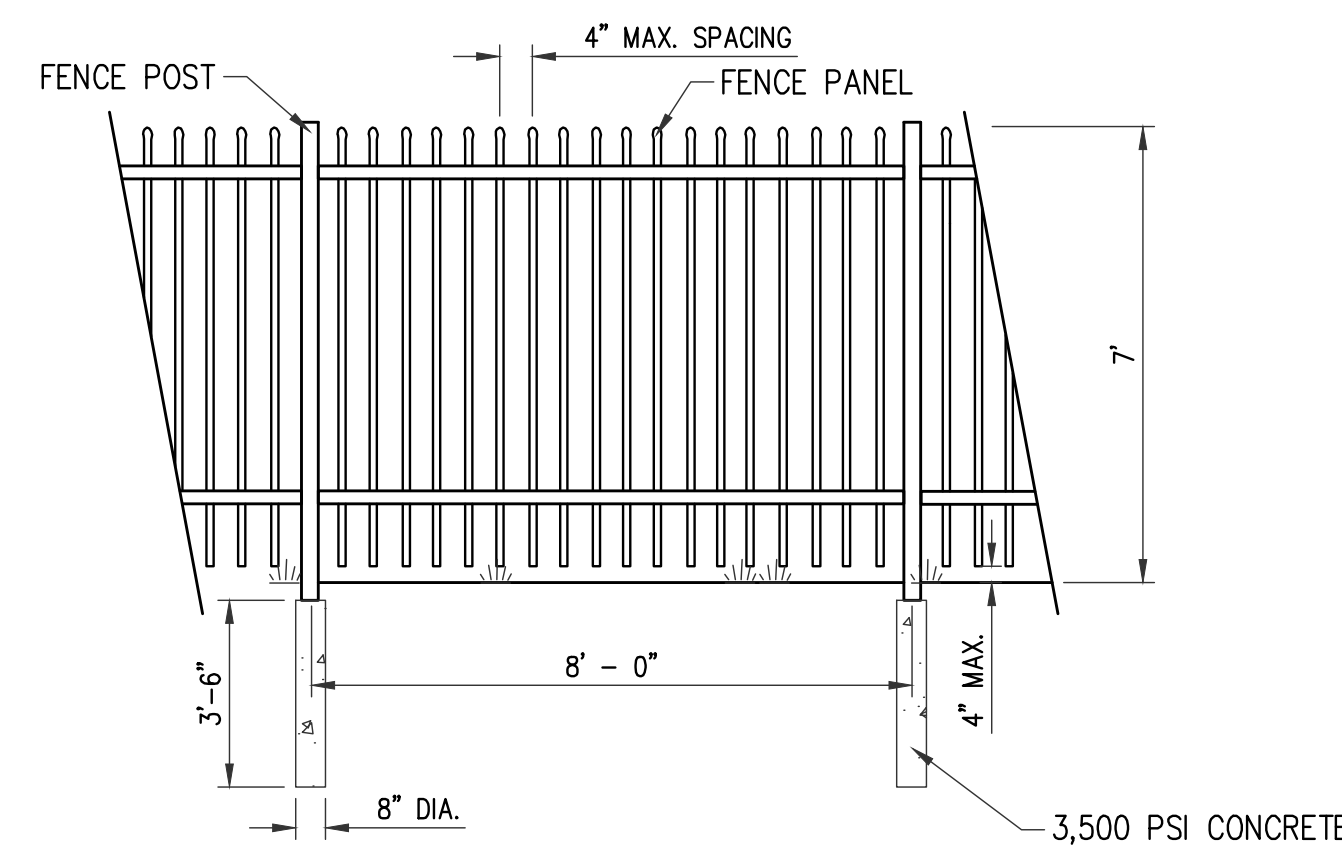
NOT TO SCALE



- NOTES:
- WOVEN GEOTEXTILE SEPARATOR SHALL BE MIRAFI HP 370 OR AN ENGINEER APPROVED EQUIVALENT PRODUCT.
  - THIS CROSS SECTION WILL BE USED FOR ALL DRIVEWAY SURFACES, AS SHOWN ON THE SITE DRAWINGS.

**AGGREGATE SURFACE CROSS SECTION (DRIVEWAY)**

NOT TO SCALE

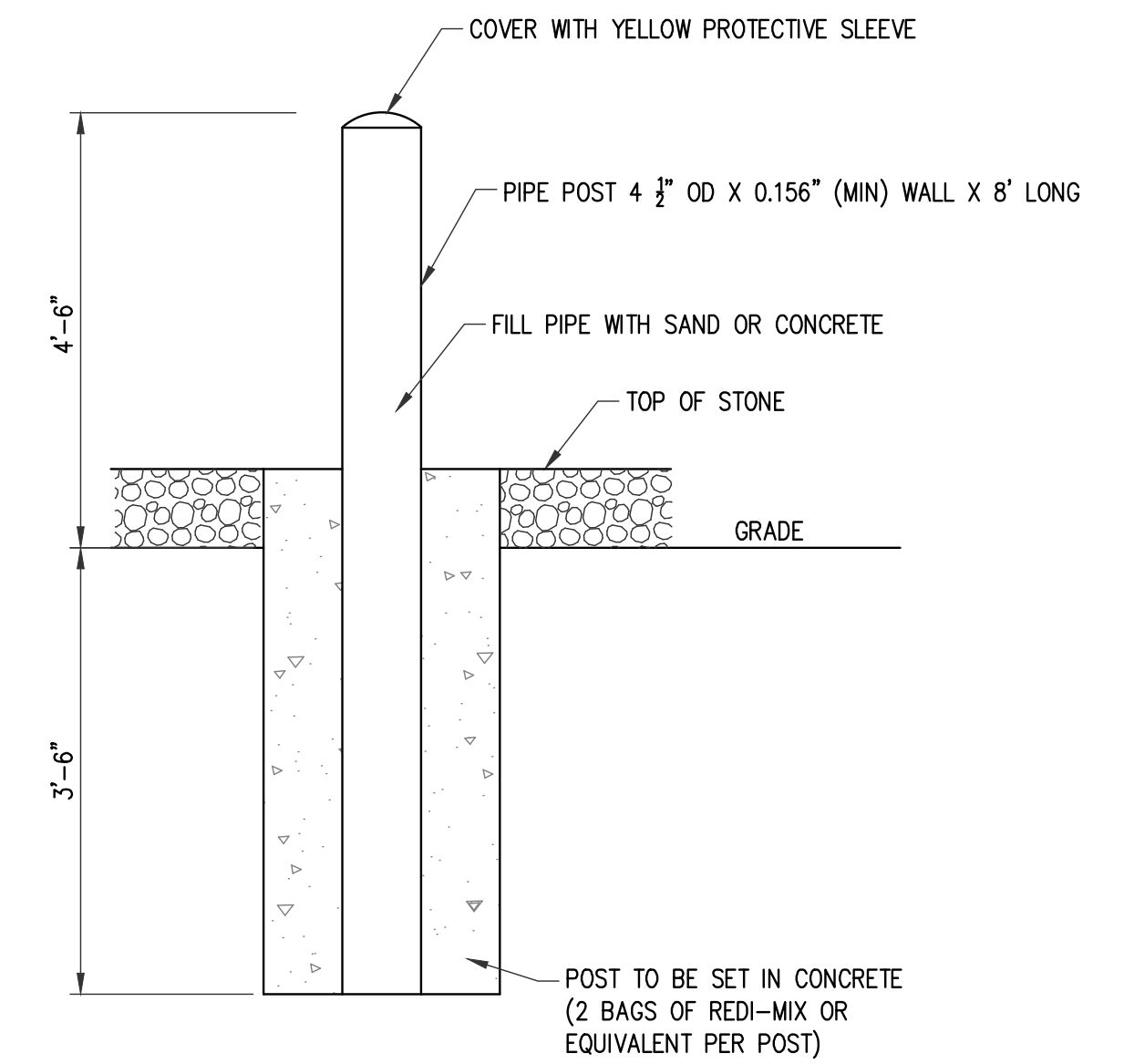


**ORNAMENTAL FENCE DETAIL**

NOT TO SCALE

NOTES:

- ORNAMENTAL FENCE WILL BE ON TOP OF A MANSIONRY WALL.
- SUBMIT SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL PRIOR TO ORDERING MATERIALS.
- ORNAMENTAL FENCE SHALL BE METAL FENCING, BLACK, LIGHT COMMERCIAL STEEL, VARIOUS HEIGHTS WITH VERTICAL PICKETS AND HORIZONTAL RAILS.
- GATES SHALL BE OF THE DIMENSION AND CONFIGURATION SHOWN ON THE PLANS. SUBMIT SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL PRIOR TO ORDERING MATERIALS.



**BOLLARD DETAIL**

NOT TO SCALE

ORIGINAL DRAWING #

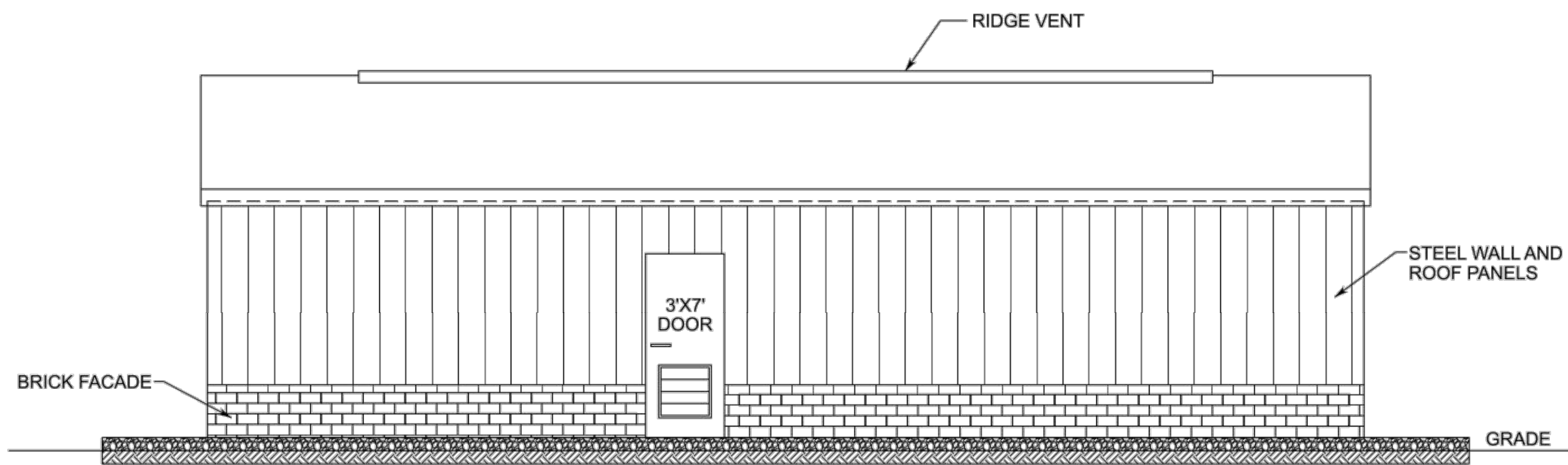
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DRAWN: CJA DATE: NOV 2020  
 CHECKED: KEL DATE: NOV 2020  
 DESIGNED: CJA DATE: NOV 2020  
 DESIGN APPROVAL: DAS DATE: NOV 2020  
 ENGINEER APPROVAL: DAS DATE: NOV 2020

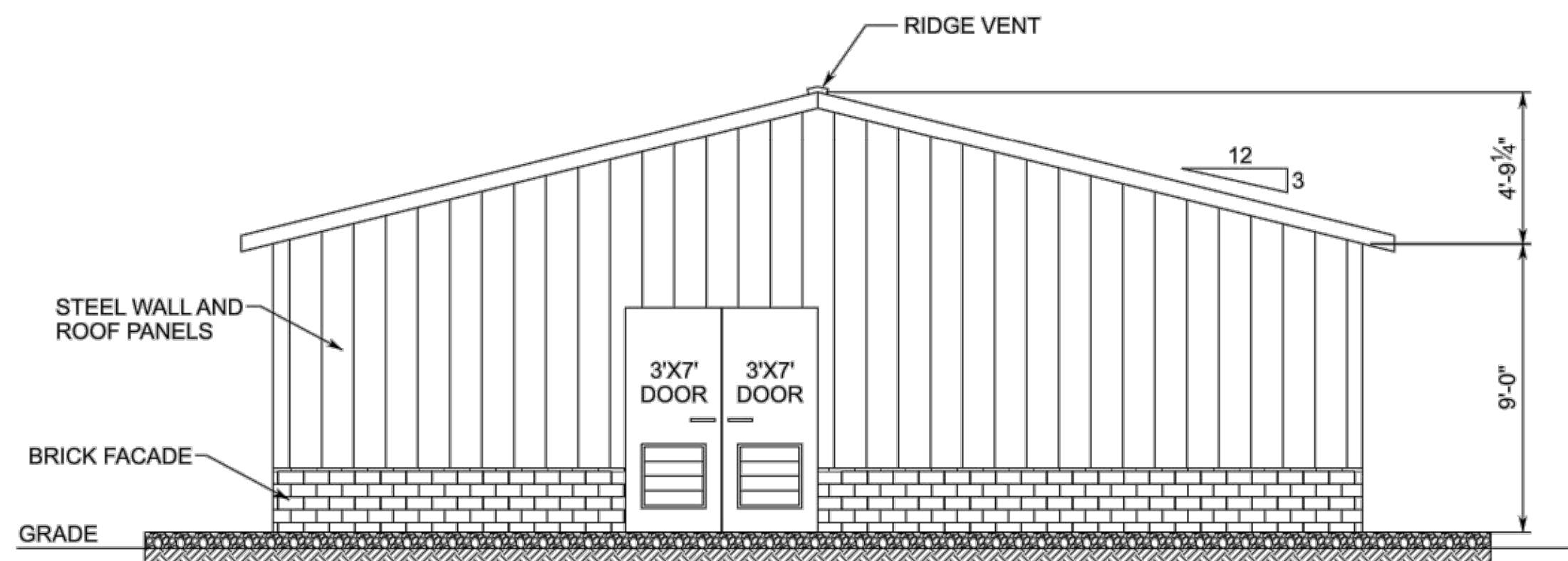
	MT. PLEASANT CITY GATE RECONSTRUCT 2021 CONSTRUCTION	
	<b>DETAIL SHEET</b>	
GEO-SPATIAL & GAS ASSET MANAGEMENT	FIELD AREA:	DRAWING NO.
	PROJECT # 20C0219	SHEET REV
FILE: -- RASTER FILE:	STA. NO. ---	C-0251-SAD 1

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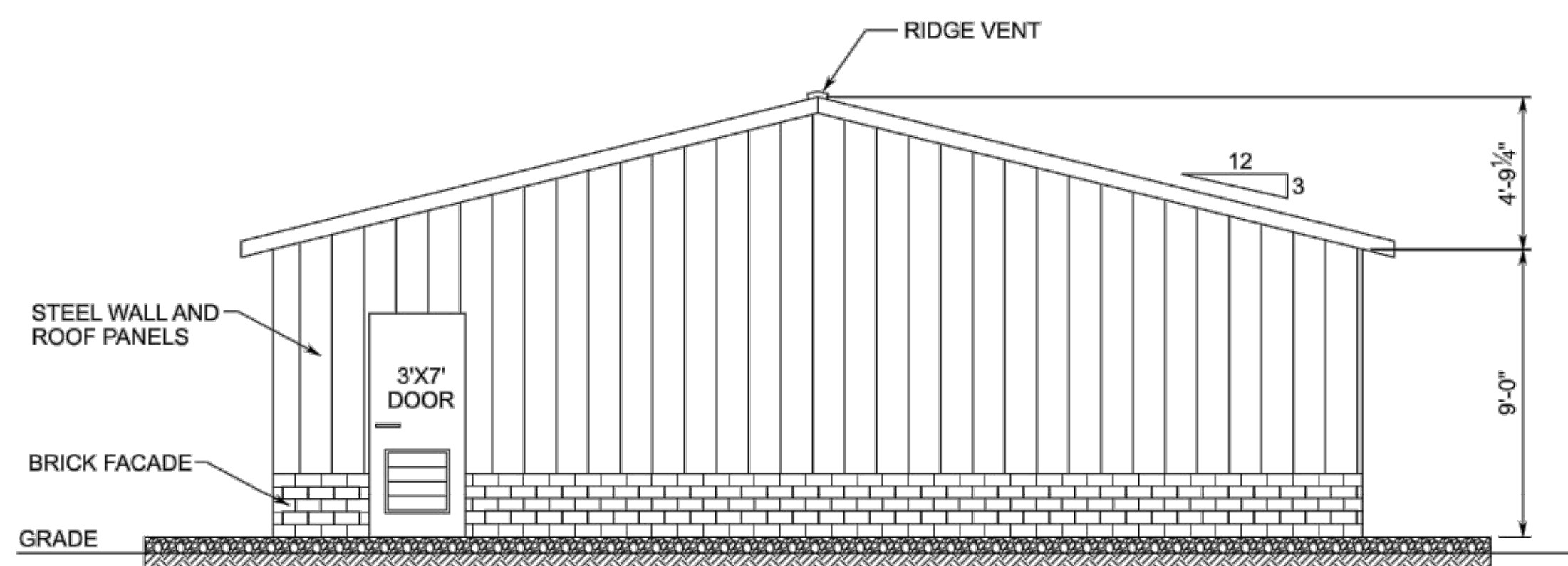




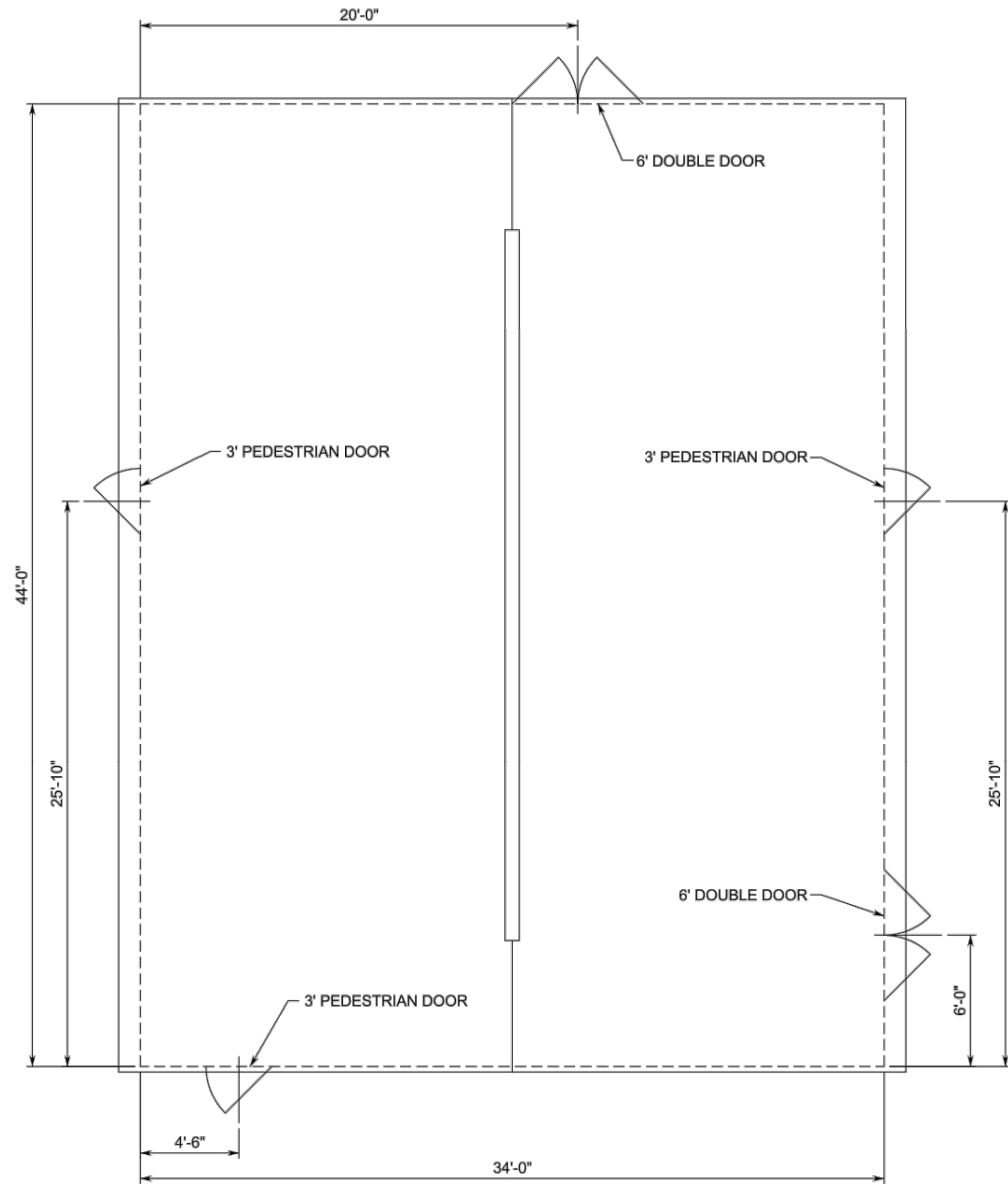
**WEST ELEVATION**



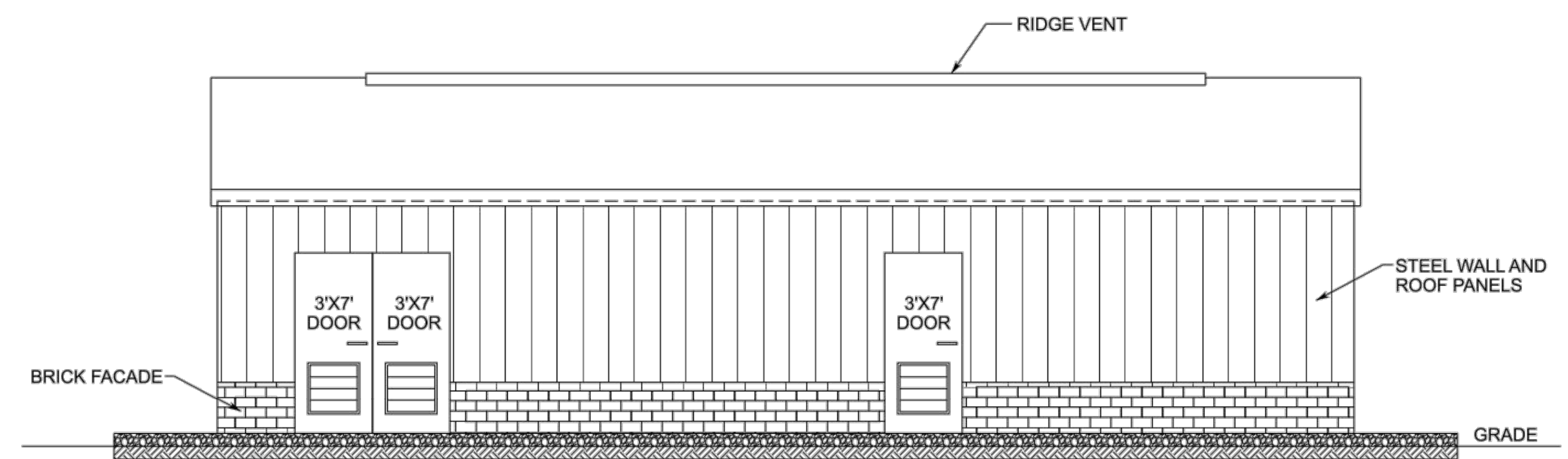
**NORTH ELEVATION**



**SOUTH ELEVATION**



**PLAN VIEW**



**EAST ELEVATION**

ORIGINAL DRAWING #

REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO

DRAWN: JT BEACH DATE: \_\_\_\_\_  
 CHECKED: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DESIGNED: DE KENNEY DATE: \_\_\_\_\_  
 DESIGN APPROVAL: \_\_\_\_\_ DATE: \_\_\_\_\_  
 ENGINEER APPROVAL: \_\_\_\_\_ DATE: \_\_\_\_\_

**ROWE PROFESSIONAL SERVICES COMPANY**

**Consumers Energy**  
Count on Us®

GEO-SPATIAL & GAS ASSET MANAGEMENT

SCALE: N.T.S.

MT. PLEASANT CITY GATE RECONSTRUCT  
2021 CONSTRUCTION

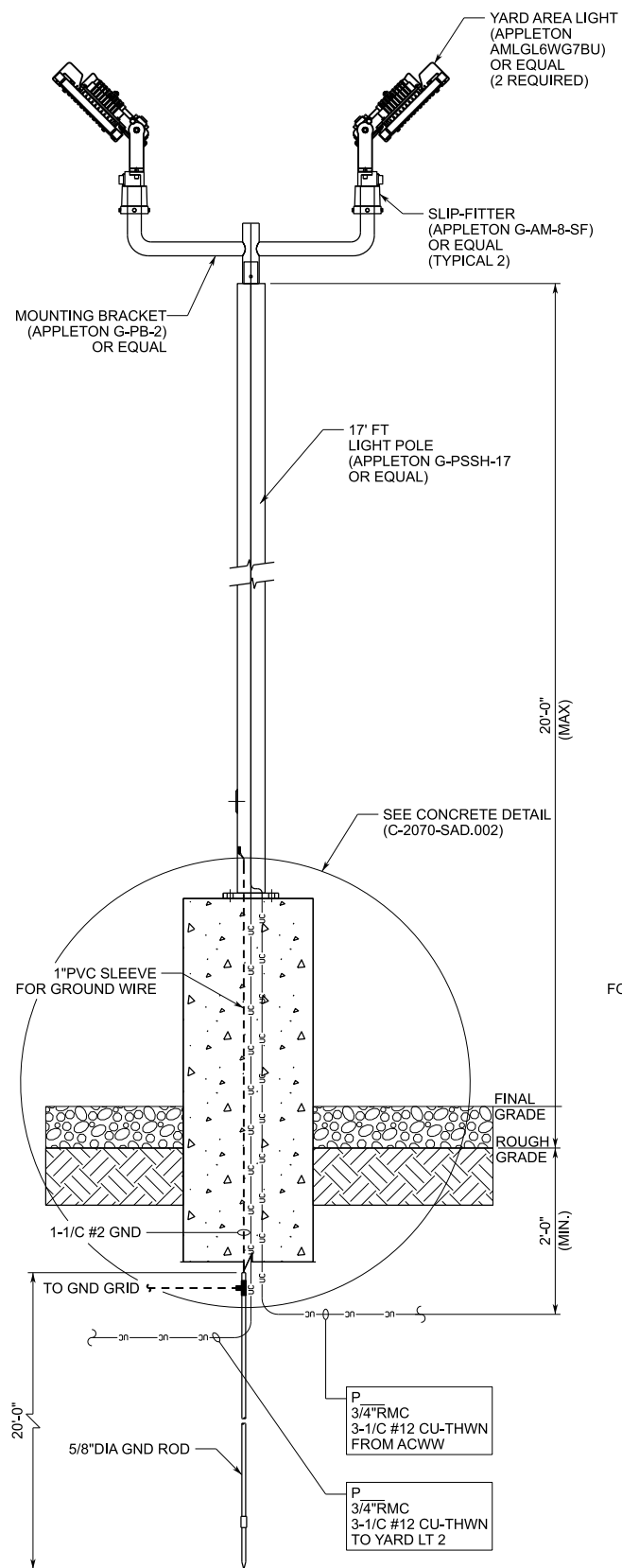
BUILDING ELEVATIONS/FLOOR PLAN

FIELD AREA: \_\_\_\_\_  
PROJECT # 20C0219  
STA. NO. ---

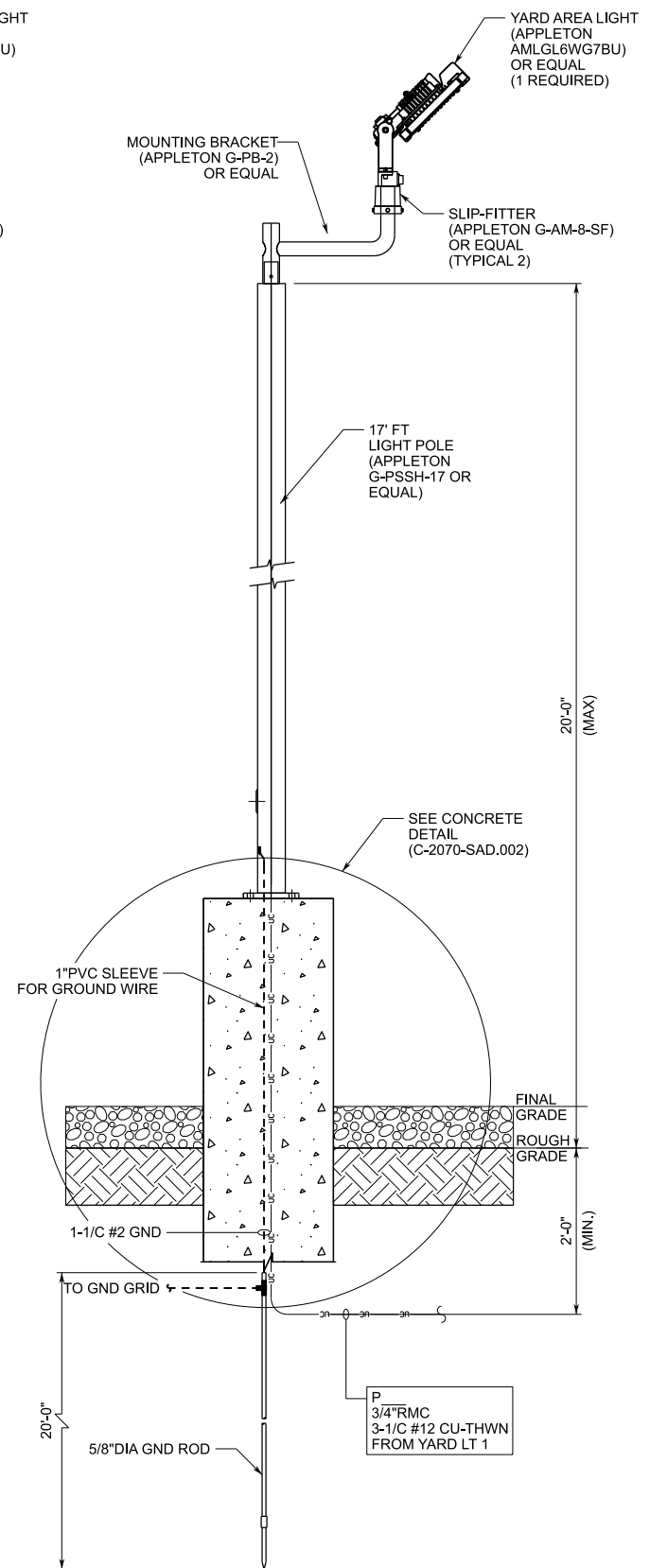
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SHEET **2** REV. \_\_\_\_\_

DO NOT SCALE DRAWINGS USE DIMENSIONS ONLY

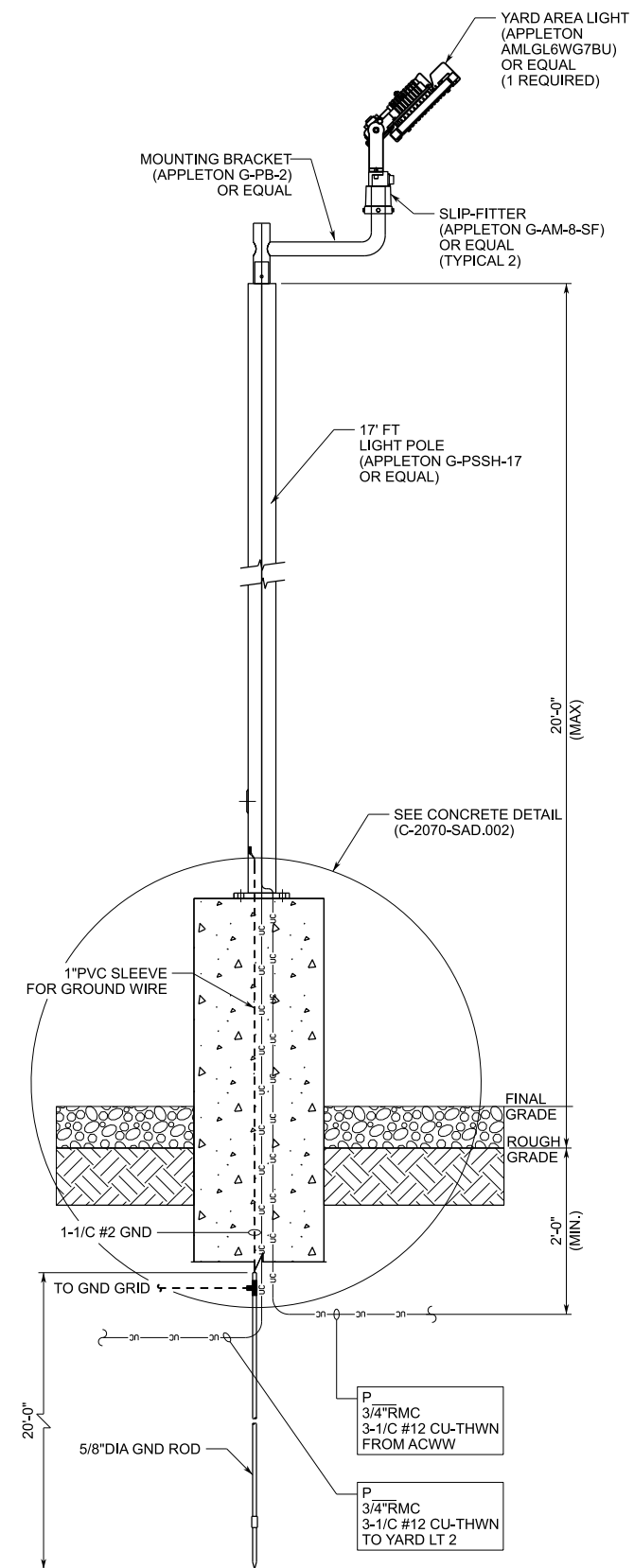




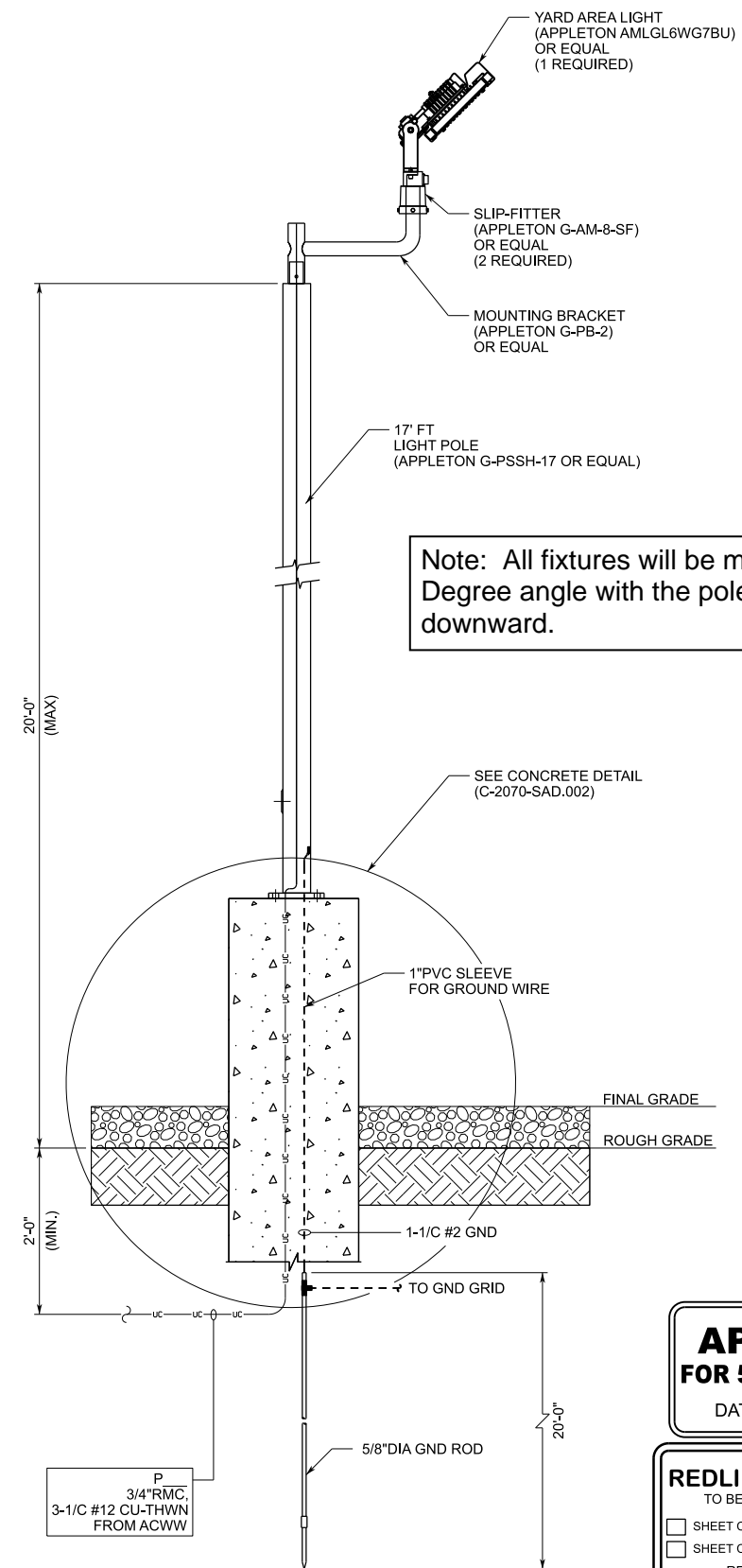
YARD LIGHT 1 SEE SPL.001



YARD LIGHT 2 SEE SPL.001



YARD LIGHT 3 SEE SPL.001



YARD LIGHT 4 SEE SPL.001

Note: All fixtures will be mounted at a 90 Degree angle with the pole facing downward.

**APPROVED FOR 50% COMMENTS**  
DATE: 09/21/20

**REDLINE INFORMATION**  
TO BE FILLED OUT BY REDLINER  
 SHEET COMPLETED AS MARKED  
 SHEET COMPLETED AS ORIGINALLY DRAWN  
REDLINE PERFORMED BY  
NAME: \_\_\_\_\_  
CONTACT: \_\_\_\_\_  
COMPANY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
RFI #: \_\_\_\_\_

ORIGINAL DRAWING #

REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES.	ENG.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES.	ENG.	CO

DRAWN W RAKIETEN DATE 09/02/2020  
CHECKED RA KNOX DATE  
DESIGNED DATE  
DESIGN APPROVAL RL LYNDE DATE  
ENGINEER APPROVAL KS BRAYTON DATE

**Consumers Energy**  
Count on Us®  
GEO-SPATIAL & GAS ASSET MANAGEMENT  
Transmission Pipeline Department  
FILE: 400251E0251-CDS.029.dgn  
RASTER FILE:

MT PLEASANT CITY GATE  
2021 CONSTRUCTION

YARD LIGHT CONDUIT DETAILS  
FIELD AREA: ALMA  
PROJECT # GM-00789  
DRAWING NO. E-0251-CDS  
SHEET 29  
SCALE 1" = 1'-0"  
STA. NO.

**Draft Motions: PSPR 20-16 Consumers Energy**  
**Preliminary Site Plan Review Application**

**MOTION TO APPROVE:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to approve the PSPR 20-16 preliminary site plan from Consumers Energy for the Pickard Road City Gate Reconstruction Project on parcel number 14-013-20-001-00 located on the south side of E. Pickard Rd. between S. Summerton Rd. and the Baymont Inn in the northeast quarter of Section 13 and in the B-7 (Retail and Service Highway Business) zoning district, finding that the “Nov 2020” site plan fully complies with the applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval).

**MOTION TO APPROVE WITH CONDITIONS:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to approve the PSPR 20-16 preliminary site plan from Consumers Energy for the Pickard Road City Gate Reconstruction Project on parcel number 14-013-20-001-00 located on the south side of E. Pickard Rd. between S. Summerton Rd. and the Baymont Inn in the northeast quarter of Section 13 and in the B-7 (Retail and Service Highway Business) zoning district, finding that the “Nov 2020” site plan can comply with applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

1. The access, fence height, and planting location modifications are accepted as presented on the site plan per Section 7.15 of the Zoning Ordinance.
2. Include a specific revision date on the final site plan cover sheet.
3. Add the required public sidewalk along the length of the S. Summerton Rd. frontage and associated details to the final site plan.

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**MOTION TO POSTPONE ACTION:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to postpone action on the PSPR 20-16 preliminary site plan from Consumers Energy for the Pickard Road City Gate Reconstruction Project on parcel number 14-013-20-001-00 until \_\_\_\_\_, 2021 for the following reasons:

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**Draft Motions: PSPR 20-16 Consumers Energy**  
**Preliminary Site Plan Review Application**

**MOTION TO DENY:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to deny the PSPR 20-16 preliminary site plan from Consumers Energy for the Pickard Road City Gate Reconstruction Project on parcel number 14-013-20-001-00 located on the south side of E. Pickard Rd. between S. Summerton Rd. and the Baymont Inn in the northeast quarter of Section 13 and in the B-7 (Retail and Service Highway Business) zoning district, finding that the “Nov 2020” site plan does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

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**SITE PLAN REPORT**

<b>TO:</b>	Planning Commission	<b>DATE:</b>	December 2, 2020
<b>FROM:</b>	Rodney C. Nanney, AICP Community and Economic Development Director	<b>ZONING:</b>	B-7 Retail and Service Highway Business
<b>PROJECT:</b>	PSPR 20-17 - Preliminary Site Plan Approval Application for a new Biggby Coffee modular building, drive-through lane, and outdoor seating area in the east parking lot of the former Mid Michigan Community College building at 5805 E. Pickard Rd.		
<b>PARCEL(S):</b>	PID 14-012-04-007-07		
<b>OWNER(S):</b>	Mid Michigan College		
<b>LOCATION:</b>	4.58 total acres on the north side of E. Pickard Rd. between S. Summerton Rd. and the former Mid Michigan Community College building at 5805 E. Pickard Rd. in the SE1/4 of Section 12.		
<b>EXISTING USE:</b>	Parking lot	<b>ADJACENT ZONING:</b>	B-7 and R-1
<b>FUTURE LAND USE DESIGNATION:</b>	<i>Community Commercial.</i> This land use category is intended the widest variety of retail and service businesses, but is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well-managed access.		
<b>ACTION REQUESTED:</b>	To review and take action to approve, deny or approve with conditions the PSPR 20-17 preliminary site plan dated "November 2020" for a new Biggby Coffee modular building, drive-through lane, and outdoor seating area in the east parking lot of the former Mid Michigan Community College building at 5805 E. Pickard Rd.		

**Review Comments**

The following review comments are based on the applicable Ordinance requirements, the required information for a preliminary site plan (see Section 14.2.P.), and the standards for preliminary site plan approval found in Section 14.2.S. of the new Zoning Ordinance.

- Section 14.2.P. - Site Plan Information Requirements.** The following items of required preliminary site plan information are missing and will need to be addressed on the final site plan, but the plan is sufficiently complete for Planning Commission review:

Minimum Required Preliminary Site Plan Information	
Add a specific revision date (month/day/year) on the final site plan cover sheet.	<input type="checkbox"/>
Add the BCubed "Site Plan Narrative" on the final site plan cover sheet as a detailed use statement and include the number of anticipated employees.	<input type="checkbox"/>

<b>Minimum Required Preliminary Site Plan Information</b>	
Add the gross and net floor area of the proposed building to the final site plan.	<input type="checkbox"/>
Add the owners' names, existing uses, location of structures, drives, and improvements, and existing zoning classifications for the surrounding parcels to the final site plan.	<input type="checkbox"/>
Revise the trash enclosure detail on sheet C105 to show the entire concrete apron with dimensions (the apron must extend at least 10.0 feet in front of the enclosure).	<input type="checkbox"/>

2. **Section 3.15. - Setbacks.** The proposed building location conforms to the minimum required setbacks of the B-7 District.
  
3. **Section 8.1.B.6. - Environmental Performance Standards.** No hazardous materials will be stored on-site.
  
4. **Section 9.1 – Parking.** The proposed Biggby Coffee facility will remove about 50 spaces from the east parking lot. However, none of this existing parking is required to satisfy the minimum parking requirements that apply to the existing (currently vacant) office building on the adjacent parcel at 5805 E. Pickard Rd. Staff would have no objection to Planning Commission approval of the preliminary site plan with the proposed parking lot changes, provided that the following details are addressed on the final site plan:
  - Add calculations for required parking to the final site plan, along with a notation of the number of existing parking spaces that would be eliminated by this project.
  - Add parking space and maneuvering aisle dimensions to the final site plan.
  - Add one (1) barrier-free parking space with striping and signage to the final site plan.
  
5. **Section 9.6 - Access Management.** This Section establishes driveway standards designed to preserve the function and capacity of E. Pickard Rd. (M-20). The site is currently served by one (1) existing driveway approach in front of 5805 E. Pickard Rd., which is planned to be used by the applicant's customers and employees to access the new facility. A "potential future access drive" from S. Summerton Rd. into the east parking lot parcel is shown on the site plan, but the timing of this future improvement is missing. Staff would have no objection to approval of the preliminary site plan with vehicular access as proposed, provided that the following details are addressed on the final site plan:
  - Add a note to the final site plan confirming that the applicant will construct the access from S. Summerton Rd. within 90 calendar days of re-occupancy of the existing office building at 5805 E. Pickard Rd.
  - Provide documentation of permission from the owner to utilize the adjacent land and driveway at 5805 E. Pickard Rd. for access to the facility (a redacted copy of the lease agreement may satisfy this requirement).
  
6. **Section 7.10 - Sidewalks and Pathways.** The Sidewalk and Pathway Ordinance No. 2009-03 establishes standards for construction, maintenance, repair, and replacement of sidewalks within and outside of public rights-of-way. The plan shows the existing public sidewalk along E. Pickard Rd., but the required connection from the public sidewalk into the site and the minimum 5-foot-wide sidewalk along the S. Summerton Rd. frontage are

missing. The following sidewalk details will need to be addressed on the final site plan:

- Add a barrier-free sidewalk connection from the existing public sidewalk along E. Pickard Rd. into the site at a location that minimizes impacts on existing street trees and that is convenient to the barrier-free access for the facility's walk-up window.
- Add the required public sidewalk along the length of the S. Summerton Rd. frontage at a location within the road right-of-way consistent with Isabella County Road Commission standards, or within a separate easement adjacent to the right-of-way.
- Add easement details if the new public sidewalk will be located outside of the existing right-of-way. A copy of the as-recorded easement will need to be submitted to the Zoning Administrator prior to issuance of a building permit for this project.
- Add the timing of construction for each of these improvements to the final site plan.
- Add a cross-section sidewalk construction detail showing the base and pavement depth, pavement width, and description of base and paving materials.

7. **Section 8.2. - Exterior Lighting.** Exterior lighting details are a final site plan item, but the applicant has provided some information on sheet G-001 for review. The following details will need to be addressed by the applicant on the final site plan:

- Replace the Lumecon LWP-MN-10 wall packs with a fixture that fully conforms to Section 8.2 (Exterior Lighting) requirements.
- Add a note to the final site plan to confirm that the Hubbell ALF-6LU-5K-BZ sign flood lights will be permanently aimed downward and towards the sign face per Section 8.2 requirements.
- Provide a photometric plan to confirm compliance with the maximum light level of 10 foot-candles within the site.

8. **Section 10. – Landscaping and Screening.** Detailed landscape plans are also a final site plan item, but a "*general layout of proposed landscaping and screening improvements*" is a required item of preliminary site plan information. No landscaping improvements are proposed, but existing trees and vegetation are noted around the perimeter of the lot. Per Section 10.2 (General Landscaping Requirements), the existing landscaping will need to be augmented with additional plantings required along the road frontages. Staff would have no objection to approval of the preliminary site plan as proposed, provided that the following landscaping details are addressed on the final site plan:

- The scope of landscaping adjacent to roads required per Section 10.2.B. (Landscaping Adjacent to Roads) will need to be consistent with the length and width of the rectangular area of this parcel proposed to be occupied by the new facility, including the building, drive-through lane, outdoor seating area, and required parking. Consistent with Section 10.6 (Treatment of Existing Plant Material), the existing trees along E. Pickard Rd. will count towards the total required for the project.
- Staff recommends that any new landscaping along E. Pickard Rd. be focused on providing some low-level buffering of the parking lot without inhibiting visibility of the new facility. Per Section 10.7 (Modifications...), the Planning Commission could

accept the location of any additional trees required to conform to Section 10.2.B. requirements along the east side of the parking lot.

- The installation timing for new plantings should be noted on the final site plan.

### **Objective**

The Planning Commission shall study the site plan and take action when ready to either approve or disapprove the proposed site plan. If the site plan is disapproved, the reasons for disapproval shall be stated. Per Section 14.2.J., approval of a preliminary site plan by the Planning Commission *“shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas.”*

### **Key Findings**

1. The site plan is missing several items of required preliminary site plan information, but is sufficiently complete for Planning Commission review.
2. The new facility will be located within an existing parking lot and will use an existing driveway from M-20 for vehicular access.
3. The site plan substantially conforms to the standards for preliminary site plan approval found in Section 14.2.S. (Standards for Site Plan Approval).

### **Recommendations**

Based on the above findings, I would ask that the Planning Commission consider taking action to approve the PSPR 20-17 preliminary site plan, subject to the following conditions:

1. Provide documentation of permission from the owner to utilize the adjacent land and driveway at 5805 E. Pickard Rd. for access to the facility with the final site plan submittal.
2. Add the required sidewalk connection into the site from E. Pickard Rd. and a new public sidewalk along the length of the S. Summerton Rd. frontage to the final site plan.
3. Update the parking, exterior lighting, and landscaping on the final site plan to conform to Zoning Ordinance requirements and add a specific revision date to the final site plan.
4. Add a note to the final site plan confirming that the applicant will construct the access from S. Summerton Rd. within 90 calendar days of re-occupancy of the existing office building at 5805 E. Pickard Rd.

Please contact me at (989) 772-4600 ext. 232, or via email at [RNanney@uniontownshipmi.com](mailto:RNanney@uniontownshipmi.com), with any questions about this information.

Respectfully submitted,

**Rodney C. Nanney, AICP**

Community and Economic Development Director

Union Township Planning Commission,

First, I would like to express my appreciation for Rodney's assistance with the planning process. This is our first time developing this type of project. He has taken time to understand the BCubed building and this proposal. It is an amazing new concept that meets so many demands of our society today. Precautions for health and safety are inherent in the design and operation of the BCubed for BIGGBY COFFEE. We are so grateful to have this opportunity to operate a viable business to contribute to the economy of greater Union Township.

The one area of this proposal that is confusing is that our Biggby Coffee business will be a tenant. We are entering a lease agreement with Mid Michigan College for use of approximately 0.3 acres (13,500 square feet) for our drive-thru coffee business. This space, shown on the site plan drawings, is at least 285 feet from Summerton Road, but does have frontage on E. Pickard. The fact that we are not the property owners informs several of the site plan report responses provide in the following.

As the site plan substantially conforms to the standards for preliminary site plan approval found in Section 14.2.S. (Standards for Site Plan Approval). It is our humble request that the Planning Commission consider taking action to approve the PSPR 20-17 preliminary site plan, subject to the modified conditions provided.

PROJECT: PSPR 20-17 - Preliminary Site Plan Approval Application for a new Biggby Coffee modular building, drive-through lane, and outdoor seating area in the east parking lot of the former Mid Michigan Community College building at 5805 E. Pickard Rd.

#### SITE PLAN REPORT - RESPONSE

- Add a specific revision date (month/day/year) on the final site plan cover sheet. ***This missing item is acknowledged, and we intend to address on final site plan.***
- Add the BCubed "Site Plan Narrative" on the final site plan cover sheet as a detailed use statement and include the number of anticipated employees. ***This missing item is acknowledged, and we intend to address on final site plan.***
- Add the gross and net floor area of the proposed building to the final site plan. ***This missing item is acknowledged, and we intend to address on final site plan.***
- Add the owners' names, existing uses, location of structures, drives, and improvements, and existing zoning classifications for the surrounding parcels to the final site plan. ***This missing item is acknowledged, and we intend to address on final site plan.***
- Revise the trash enclosure detail on sheet C105 to show the entire concrete apron with dimensions (the apron must extend at least 10.0 feet in front of the enclosure). ***This missing item is acknowledged, and we intend to address on final site plan.***
- Add calculations for required parking to the final site plan, along with a notation of the number of existing parking spaces that would be eliminated by this project. ***This missing item is acknowledged, and we intend to address on final site plan.***
- Add parking space and maneuvering aisle dimensions to the final site plan. ***This missing item is acknowledged, and we intend to address on final site plan.***

- Add one (1) barrier-free parking space with striping and signage to the final site plan. ***This missing item is acknowledged, and we intend to address on final site plan.***
- Add a note to the final site plan confirming that the applicant will construct the access from S. Summerton Rd. within 90 calendar days of re-occupancy of the existing office building at 5805 E. Pickard Rd. ***We respectfully request this recommendation be waived. We will be leasing .03 acres of the 4.58-acre parking lot currently owned by Mid Michigan College. This project is not feasible with the substantial cost of such an improvement. Based on our experience as Biggby Coffee owner/operators and understanding the historic traffic with the previous use, the current access will adequately meet the needs of the proposed use (with or without the adjacent building being occupied).***
- Provide documentation of permission from the owner to utilize the adjacent land and driveway at 5805 E. Pickard Rd. for access to the facility (a redacted copy of the lease agreement may satisfy this requirement). ***Not necessary per change of access construction request.***
- Add a barrier-free sidewalk connection from the existing public sidewalk along E. Pickard Rd. into the site at a location that minimizes impacts on existing street trees and that is convenient to the barrier-free access for the facility's walk-up window. ***This missing item is acknowledged, and we intend to address on final site plan.***
- Add the required public sidewalk along the length of the S. Summerton Rd. frontage at a location within the road right-of-way consistent with Isabella County Road Commission standards, or within a separate easement adjacent to the right-of-way. ***We respectfully request this requirement be waived. We will be leasing .03 acres of the 4.58-acre parking lot currently owned by Mid Michigan College. Our leased space is at least 258 feet from Summerton Road. This project is not feasible with the substantial cost of such an improvement.***
- Add easement details if the new public sidewalk will be located outside of the existing right-of-way. A copy of the as-recorded easement will need to be submitted to the Zoning Administrator prior to issuance of a building permit for this project. ***Not necessary per change of sidewalk construction request.***
- Add the timing of construction for each of these improvements to the final site plan. ***Not necessary per change of sidewalk construction request.***
- Add a cross-section sidewalk construction detail showing the base and pavement depth, pavement width, and description of base and paving materials. ***This missing item is acknowledged, and we intend to address on final site plan.***
- Replace the Lumecon LWP-MN-10 wall packs with a fixture that fully conforms to Section 8.2 (Exterior Lighting) requirements. ***These are the standard lights provided by manufacturer. We have made contact with them to discuss options to provide on final site plan.***
- Add a note to the final site plan to confirm that the Hubbell ALF-6LU-5K-BZ sign flood lights will be permanently aimed downward and towards the sign face per Section 8.2 requirements. ***This item is acknowledged, and we intend to address on final site plan.***
- Provide a photometric plan to confirm compliance with the maximum light level of 10 foot-candles within the site. ***This item is acknowledged, and we intend to address on final site plan.***
- The scope of landscaping adjacent to roads required per Section 10.2.B. (Landscaping Adjacent to Roads) will need to be consistent with the length and width of the rectangular area of this parcel proposed to be occupied by the new facility, including the building, drive-through lane,

outdoor seating area, and required parking. Consistent with Section 10.6 (Treatment of Existing Plant Material), the existing trees along E. Pickard Rd. will count towards the total required for the project. ***This item is acknowledged, and we intend to address on final site plan.***

- Staff recommends that any new landscaping along E. Pickard Rd. be focused on providing some low-level buffering of the parking lot without inhibiting visibility of the new facility. Per Section 10.7 (Modifications...), the Planning Commission could accept the location of any additional trees required to conform to Section 10.2.B. requirements along the east side of the parking lot. The installation timing for new plantings should be noted on the final site plan. ***This item is acknowledged, and we intend to address on final site plan.***
- The installation timing for new plantings should be noted on the final site plan. The installation timing for new plantings should be noted on the final site plan. ***This item is acknowledged, and we intend to address on final site plan.***

# BIGGBY COFFEE

December 1, 2020



Mr. Rodney Nanney, AICP  
Community and Economic Development Director  
Charter Township of Union  
2010 S Lincoln  
Mt. Pleasant MI 48858

Dear Mr. Nanney:

Please accept the included documents as submittal for preliminary site plan review for our proposed BIGGBY® COFFEE store to be located in the parking lot of the Mid-Michigan Community College property on East Pickard Road.

Thank you for the time you have spent learning about the BCubed building we are requesting to install for this use. This building is a new concept with many benefits for the community, property owner and my family, as the business owner/operator.

We appreciate the planning commission and staff review and approval of this preliminary site plan.

Sincerely,



Landon Palmer  
Reals-Palmer LLC.  
BIGGBY® COFFEE Franchise Store #658

Reals-Palmer LLC - PO Box 237 - Gowen MI 49326



## Charter Township of Union

### APPLICATION FOR SITE PLAN REVIEW

 Minor Site Plan

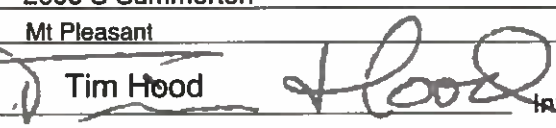
 Preliminary Site Plan

 Final Site Plan

A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project <u>Biggby Coffee BCubed Drive-thru</u>	
Common Description of Property & Address (if issued) <u>Parking Lot off E Pickard Road adjacent to 5805</u>	
Applicant's Name(s) <u>Landon Palmer, Reals-Palmer, LLC</u>	
Phone/Fax numbers <u>517-214-7420</u>	Email <u>lpalmer@biggby.com</u>
Address <u>PO Box 237</u>	City: <u>Gowen</u> Zip: <u>MI</u>

Legal Description:	<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s):	<u>14-012-04-007-07</u>	
Existing Zoning:	<u>B-7</u>	Land Acreage:	<u>&gt;1 acre</u>	Existing Use(s):	<u>Parking</u>
<input type="checkbox"/> ATTACHED: Letter describing the project and how it conforms to Section 14.2.S. (Standards for Site Plan Approval)					

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: <u>BCubed Manufacturing</u> Phone: <u>517-896-9729</u> Email: <u>tonia@bcubedmanufacturing.com</u>
	2. Address: <u>666 McKinley Ave</u>
	City: <u>Alpena</u> State: <u>MI</u> Zip: <u>49707</u>
	Contact Person: <u>Tonia Olson</u> Phone: <u>517-896-9729</u>
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: <u>Tim Hood, Mid Michigan College</u> Phone: <u>989-773-6622</u>
	Address: <u>2600 S Summerton</u>
	City: <u>Mt Pleasant</u> State: <u>MI</u> Zip: <u>48858</u>
	Signature:  Interest in Property: <u>owner President</u>
	2. Name: _____ Phone: _____
	Address: _____
	City: _____ State: <u>MI</u> Zip: _____
	Signature: _____ Interest in Property: <u>owner/lessee/other</u>

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.



Signature of Applicant

NOV-30-2020

Date

#### Office Use Only

Application Received By: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Date Received: \_\_\_\_\_ Escrow Deposit Paid: \$ \_\_\_\_\_

## **BIGGBY® COFFEE BCubed Drive-thru**

E Pickard Road Mt. Pleasant MI 48858

Franchisee: Reals-Palmer, LLC  
Landon Palmer  
PO Box 237  
Gowen MI 49326  
517-214-7420  
lpalmer@biggby.com

Property Owner: Mid-Michigan Community College

Project Contact: Tonia Olson  
BCubed Manufacturing, Director of Project Siting  
517-896-9729  
tonia@bcubedmanufacturing.com

### **Site Plan Narrative**

#### **The BIGGBY COFFEE Story**

Born and raised in East Lansing, Michigan, BIGGBY® COFFEE is a franchised company with strong ties to the communities where they operate. BIGGBY® COFFEE is the fastest-growing coffee shop in the U.S., with franchises stretching across Michigan and eight other states.



BIGGBY® COFFEE aims to be the best coffee shop in your neighborhood. While being happy, having fun, making friends and loving people, BIGGBY continues to grow along with the appreciation for specialty coffee. Many individuals throughout local communities have voted BIGGBY as one of the best spots to grab a cup of coffee.

#### **The BCubed Story**

The idea came about when a traditional food service store front location couldn't support a drive-thru and owner Jeff Konczak thought it needed one. One day at lunch, he sketched plans for a modular drive-thru facility on the back of a napkin.

Jeff pitched his idea to BIGGBY® COFFEE owners Bob Fish and Mike McFall. They loved it! The first BCubed for BIGGBY® COFFEE building was installed in 2018.

A BCubed is a superior quality, standalone, sectional drive-thru building. Anchored to foundation piers it is built to the same standards as a traditionally constructed structure. But it is a capital investment that is movable and expandable. BCubed Manufacturing's buildings are "plug and play" as they come pre-plumbed and pre-wired. This BCubed building is designed specifically for BIGGBY® COFFEE. It is delivered furnished with major equipment and small wares.



## SITE PLAN DETAILS

Reals-Palmer, LLC., proposes to lease a portion of the Mid-Michigan College Picard Road property for a BCubed for BIGGBY® COFFEE Drive-Thru. There is no indoor seating proposed in this plan. The site is zoned B7 Retail and Service Highway Business District. Restaurants, including drive-thru are permitted in this district by right. The building orientation is design with traffic flow and safety in mind per the interest of the property owner and the community.

- **Grading**

The proposed development will be placed within an existing, active land use with a previously approved grading plan. The proposed BCubed building will be installed and secured to caisson footings in the exiting paved parking lot. No changes to the grading or elevation of the property is required or proposed.

*Reference: Site Plan Sheet C104*

- **Foundation**

The BCubed building sections and awning are placed on and secured to eleven (11) caisson footings. The concrete foundation is required to be 16-inches minimum and no greater than 18-inches in diameter by 42-inch minimum depth (below frostline for area) and no less than 3,000 PSI. BCubed Manufacturing marks placement for foundation drilling.

*Reference: Site Plan Sheet S101*

- **Parking**

The BCubed building is a drive-thru coffee shop also featuring a walk-up window. The building is designed and planned to accommodate two employees per shift. Patrons and staff per the lease agreement will have use of existing parking.

## CONSTRUCTION DESIGN DETAILS

The project consists of installation of manufactured building sections. Construction conforms with Michigan Building Code. The standard BCubed drive-thru building consists of three sections and an awning that when assembled create a 349 square foot building.

- **Structure**

The BCubed is built with a welded 10-inch by six-inch by 3/16-inch structural square tube steel frame. The walls, floors and roof are structural insulated panels; 4.5-inch thick R15, 6.5-inch thick R22.6 and 10.5-inch thick R36.8 respectively.

*Reference: Construction Plan Sheets S1-2*

- **Exterior**

The exterior is concrete dryvit providing an attractive neutral color with a wormtrail texture - think a stucco look that simulates finely dressed stonework. The system is a reinforced cement board product; it is designed with a base coat, fiberglass mesh and strong polymer finish, ensuring a great look that won't break, shift or crack.

*Reference: Site Plan Sheet G-001*

- **Interior**

The interior flooring and walls are a PVC product designed for wet areas such as kitchens. The flooring has a non-slip vinyl coating. The wall system provides continuously smooth, impact-resistant protection without gaps or grout. It is ideally suited for areas in which hygiene and cleanability are critical, as well as those that require a water-resistant finish.

- **Plumbing**

Wastewater is removed from the building using a low-profile sewer system. This device is installed under the toilet and has connections for the other waste drains in the building. This system has a 280 PSI pressure rating and serves as a force main to eject wastewater through a 2-inch flexible line (up to 1,250 feet) per manufacturer recommendations. The BIGGBY® COFFEE operation is expected to generate approximately 8 gallons of wastewater per hour. The installed system is rated to manage in excess of 140 gallons of wastewater per minute.

*Reference Site Plan Sheet G002*

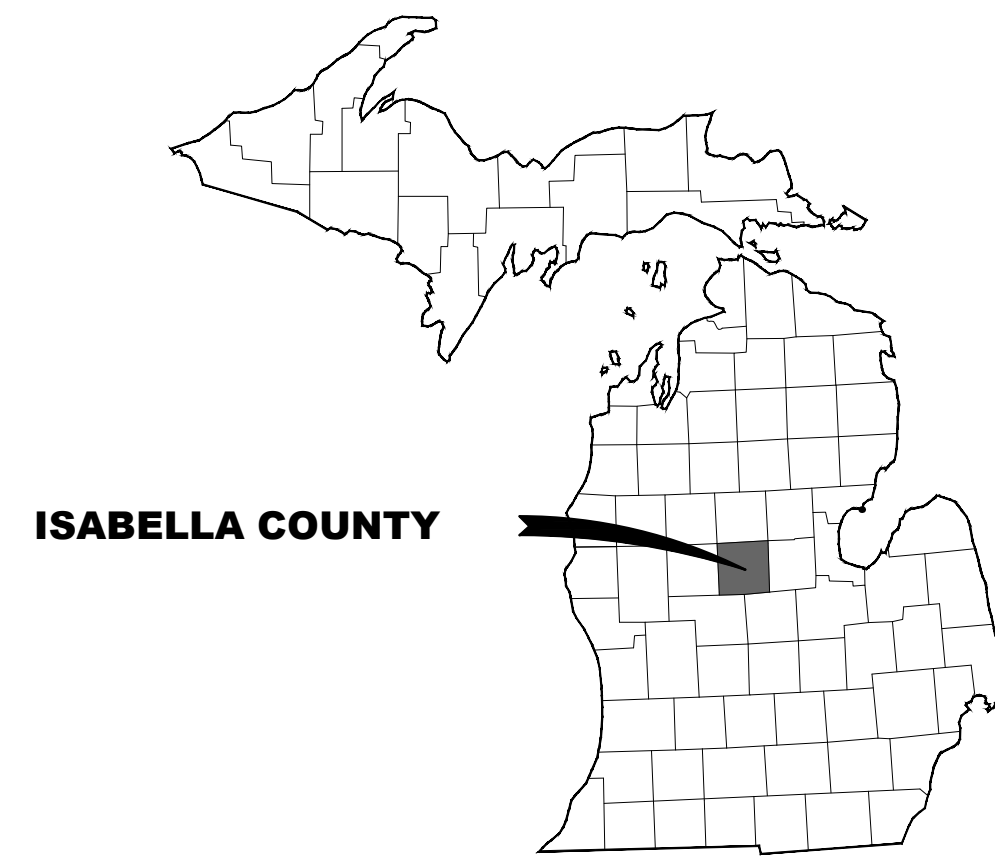
- **Utility Connections at Building**

The sewer and water connections are placed on the back wall of the bathroom section of the building. The pipes are extended into the ground below the frostline and then run out to utility source. Pipes above frost line are protected with 8-inch insulated PVC.

*Reference Site Plan Sheet G002*

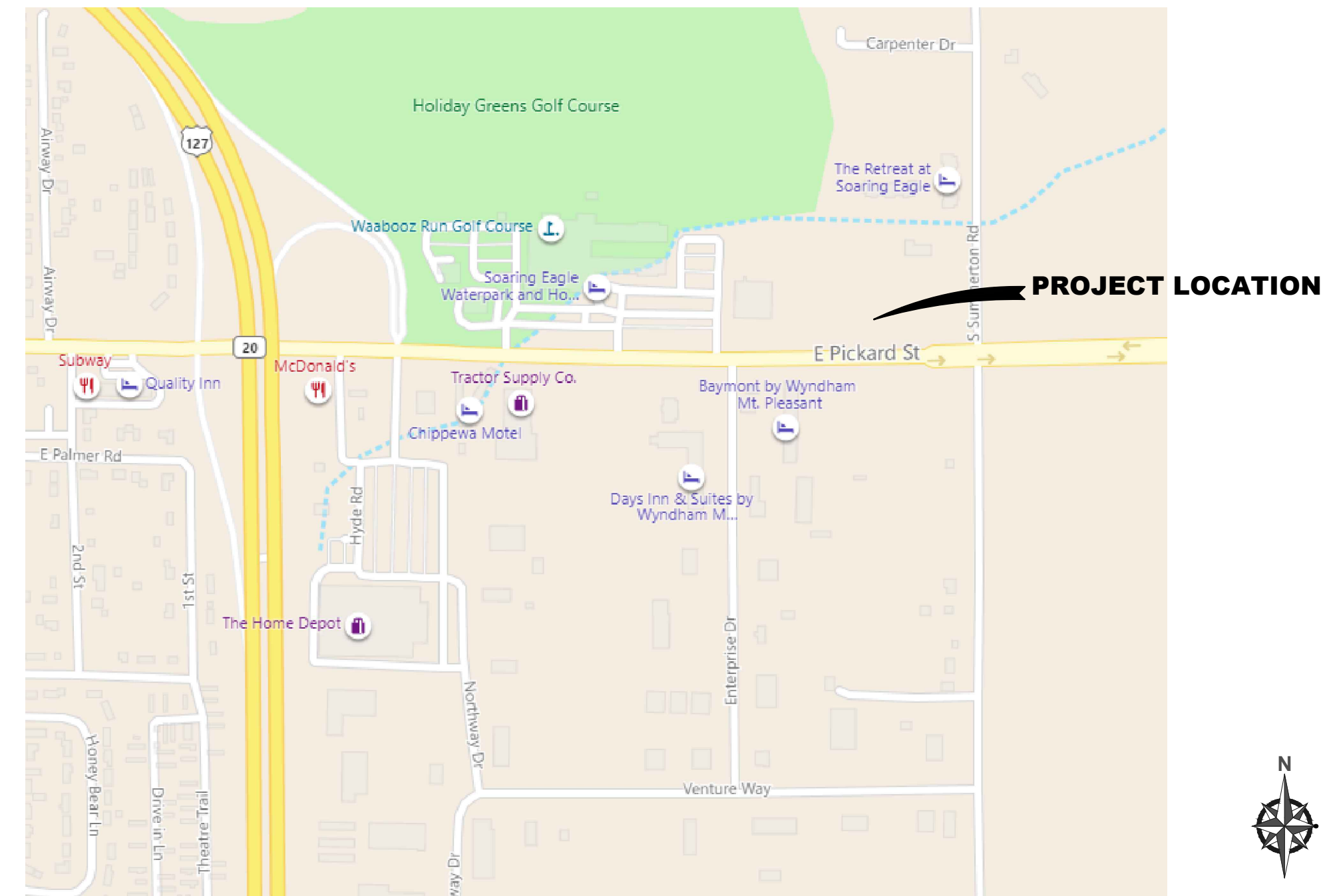


Know what's below.  
Call before you dig.



ISABELLA COUNTY

VICINITY MAP



LOCATION MAP

# BIGGBY® COFFEE BCubed Drive-thru

## E. Pickard Road Mt Pleasant, MI

**FLEISCHMANN**  
DESIGN, BUILD, OPERATE

2960 Lucerne Drive SE  
Grand Rapids, MI 49546  
P: 616.977.1000  
F: 616.977.1005



666 McKinley Ave.  
Alpena, MI 49707  
(877) 422-8233

### INDEX OF DRAWINGS

DESCRIPTION	SHEET NO.
COVER SHEET	C0
SITE PLAN	C101
SITE PLAN OVERALL	C102
UTILITY PLAN	C103
SITE GRADING PLAN	C104
DETAILS	C105
ARCHITECTURAL REFERENCE	G001
BUILDING WATER/SEWER CONNECTION	G002
STRUCTURAL DETAIL REFERENCE	S101

### PROJECT DESCRIPTION:

Installation of a BIGGBY® COFFEE BCubed drive-thru building as shown for walk-up and drive-thru business only.

### PROJECT DETAILS

**Owner**  
Mid-Michigan Community College  
5805 E. Pickard Road  
Mount Pleasant, MI 48858

**Developer**  
Reals-Palmer, LLC  
Landon Palmer  
PO Box 237  
Gowen, MI 49326  
517-214-7420  
lpalmer@biggby.com

**Designer**  
Kevin Stevens  
BCUBED Manufacturing LLC  
666 McKinley Ave. Alpena, MI 49707

### Property Information

**Address:** E PICKARD ROAD, adj to 5805  
Charter Township of Union,  
Isabella County MI, 48858

**Parcel #:** 14-012-04-007-07

### LEGAL DESCRIPTION

T14N R4W, SEC 12; COM SE COR OF SEC 12 TH N 0D25M40S W 98.63 FT TO ROW LN M-20; TH S 88D13M20S W 315.57 FT ALG ROW; TH ALG CRV TO RT CHRDR BRG & DIST S 88D31M50S W 184.35 FT TO POB; TH ALG CRV TO RT CHRDR BRG & DIST S 89D40M29S W 499.81 FT; TH N 0D25M40S W 469.57 FT TO N BANK HANCE DRN; TH N 87D39M38S E 477.48 FT; TH N 89D0M49S E 22.59 FT ALG N BANK; TH S 0D25M40S E 486.61 FT TO POB  
4.34 ACRES ±

### Fire & Building Code:

Construction Type: VB  
Occupancy Type: B  
Occupant Load: 4  
Number of Stories: 1

### Zoning Information

District: B-7

### Setbacks

Front: 15'  
Side: 5'  
Rear: 5'  
Max Bldg. Height: 35'

### Parking Summary

Provided: 124  
\* Actual parking usage will typically be 2 employees max.

Drive Thru Stacking Provided: 8 Spaces



BUILDING RENDERING

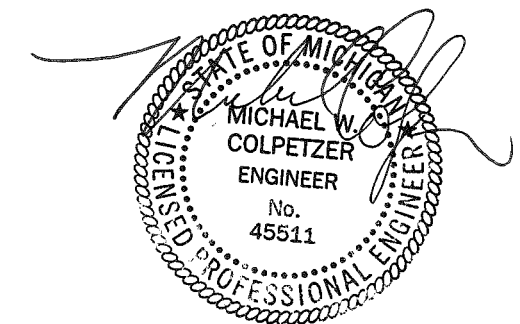
REVISION:

BIGGBY® COFFEE BCubed Drive-thru  
E. Pickard Road  
Mt. Pleasant, MI  
COVER

DESIGN TEAM: PROJ MGR: SC  
DESIGNED BY: MC  
DRAWN BY: RCL  
CHECK BY:

DRAWING INFORMATION:  
845850 C0  
111320 michaelc

NOT FOR CONSTRUCTION



NOVEMBER, 2020  
F&V PROJECT NO.  
845850

C0

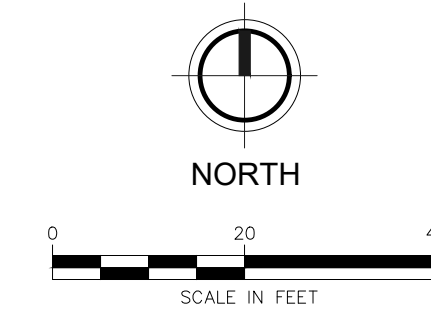


BM #1A EL. 755.68'  
 "SQUARE" CUT ON S SIDE CONC LP BASE, N SIDE PARKING LOT  
 (NAVD88 GEOID18 VIA VRS, OPUS & GPS OBSV)

BM #1B EL. 755.08'  
 MAG SPIKE N FACE PP NW QUAD SUMMERTON & M-20  
 (NAVD88 GEOID18 VIA VRS, OPUS & GPS OBSV)

NOTES

- ① CONCRETE CURB & GUTTER - SEE DETAIL SHEET C105
- ② CONCRETE SIDEWALK - SEE DETAIL SHEET C105
- ③ 4" WIDE PAINTED LINE PER MUTCD (YELLOW)
- ④ CONCRETE BUILDING CURB - SEE DETAIL SHEET C105
- ⑤ BOLLARD - SEE DETAIL SHEET C105
- ⑥ PAINTED DIRECTIONAL ARROWS PER MUTCD
- ⑦ DRIVE-THRU MENU BOARD WITH BOLLARDS
- ⑧ BYPASS LANE
- ⑨ SEAL COAT AREA TO REMOVE EXISTING STRIPING
- ⑩ PAINTED CROSSHATCH STRIPING
- ⑪ TRASH ENCLOSURE - SEE DETAIL SHEET C105
- ⑫ POTENTIAL FUTURE ACCESS DRIVE
- ⑬ CURB RAMP - SEE DETAIL SHT C105



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REVISION:

BIGGBY® COFFEE BCubed Drive-thru  
 E. Pickard Road  
 Mt. Pleasant, MI  
 SITE PLAN

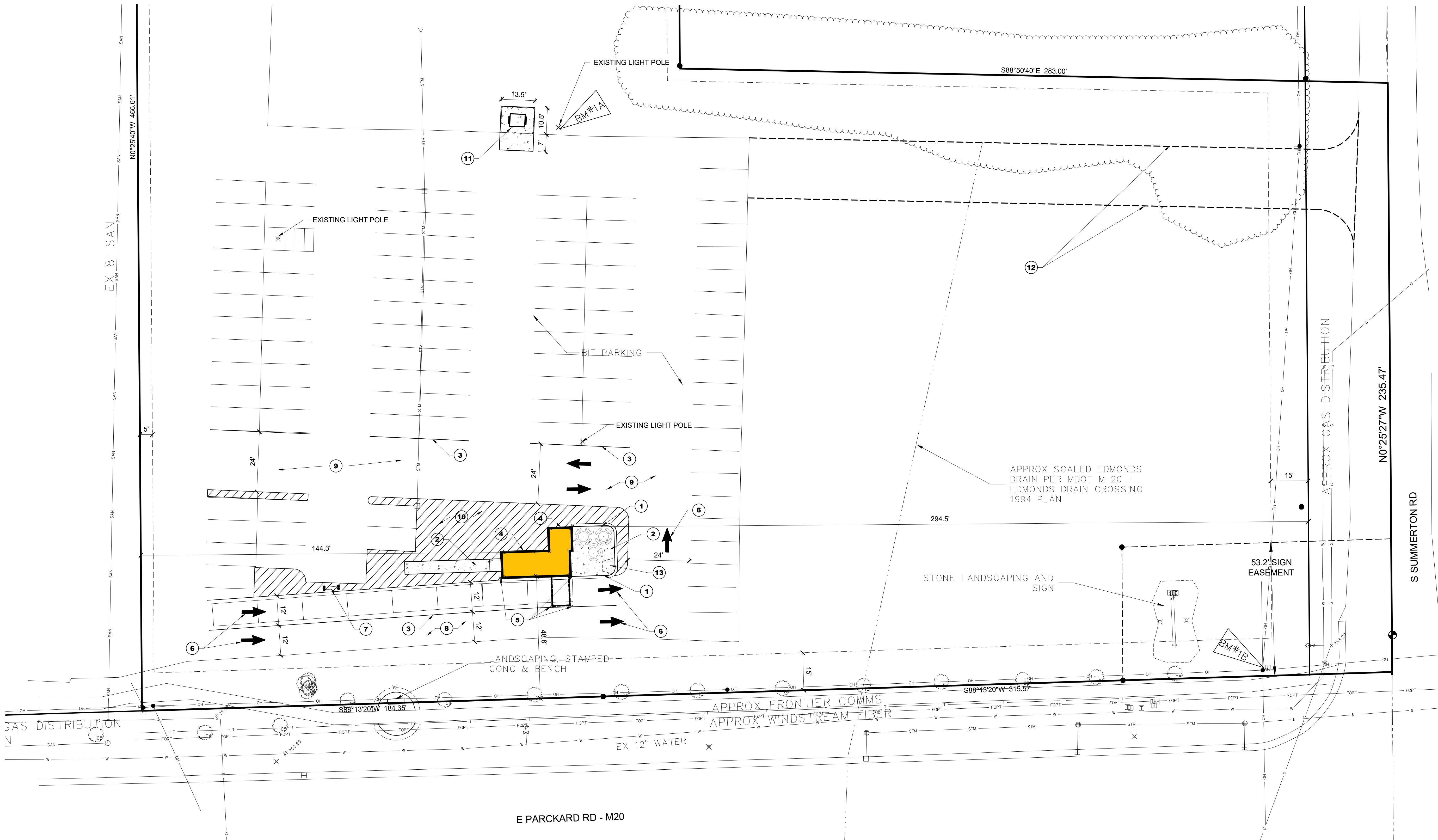
DESIGN TEAM: PROJ MGR: SC  
 DESIGNED BY: MC  
 DRAWN BY: RCL  
 CHECK BY:

DRAWING INFORMATION:  
 845850 C101  
 111520 michaelc

NOT FOR CONSTRUCTION

F&V PROJECT NO.  
 845850

C101



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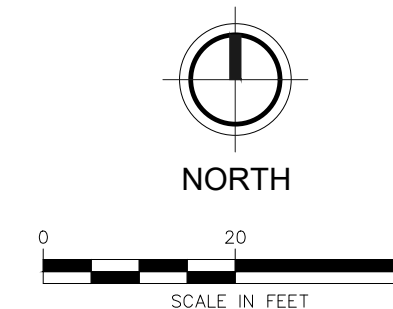








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**GENERAL NOTES**

1. UTILITIES SHALL BE EXTENDED UNDER DRIVE USING TRENCHLESS METHODS
2. CALL 811 AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION.
3. SEE SHEET G-002 FOR UTILITY CONNECTION POINTS AT BUILDING



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F: 616.977.1005



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Alpena, MI 49707  
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REVISION:

**BIGGBY® COFFEE BCubed Drive-thru**  
E. Pickard Road  
Mt. Pleasant, MI  
**UTILITY PLAN**

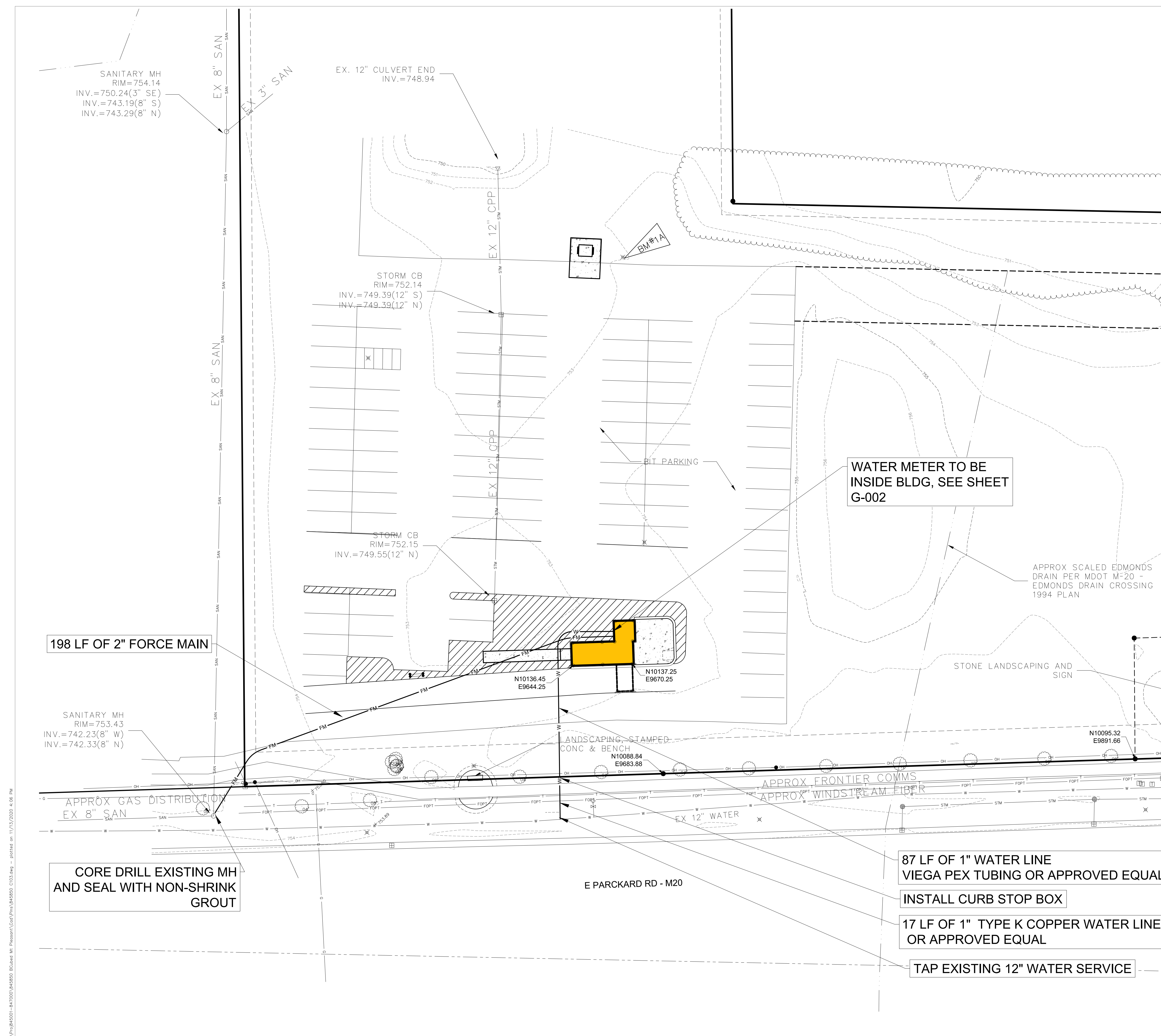
DESIGN TEAM: PROJ. MGR.: SC  
DESIGNED BY: MC  
DRAWN BY: RCL  
CHECK BY:

DRAWING INFORMATION:  
845850 C103  
111220 michaelc

**NOT FOR CONSTRUCTION**

REV. PROJECT NO.  
845850

**C103**

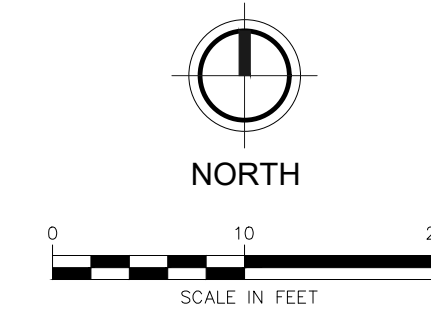


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BM #1A EL. 755.68'  
"SQUARE" CUT ON S SIDE CONC LP BASE, N SIDE PARKING LOT  
(NAVD88 GEOID18 VIA VRS, OPUS & GPS OBSV)

BM #1B EL. 755.08'  
MAG SPIKE N FACE PP NW QUAD SUMMERTON & M-20  
(NAVD88 GEOID18 VIA VRS, OPUS & GPS OBSV)

**GENERAL NOTES**

1. CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS
2. INSTALL INLET PROTECTION FOR SEDIMENTATION CONTROL PRIOR TO BEGINNING CONSTRUCTION.

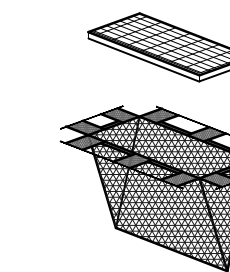
**LEGEND**

753.20 SPOT GRADE: FINISH GRADE

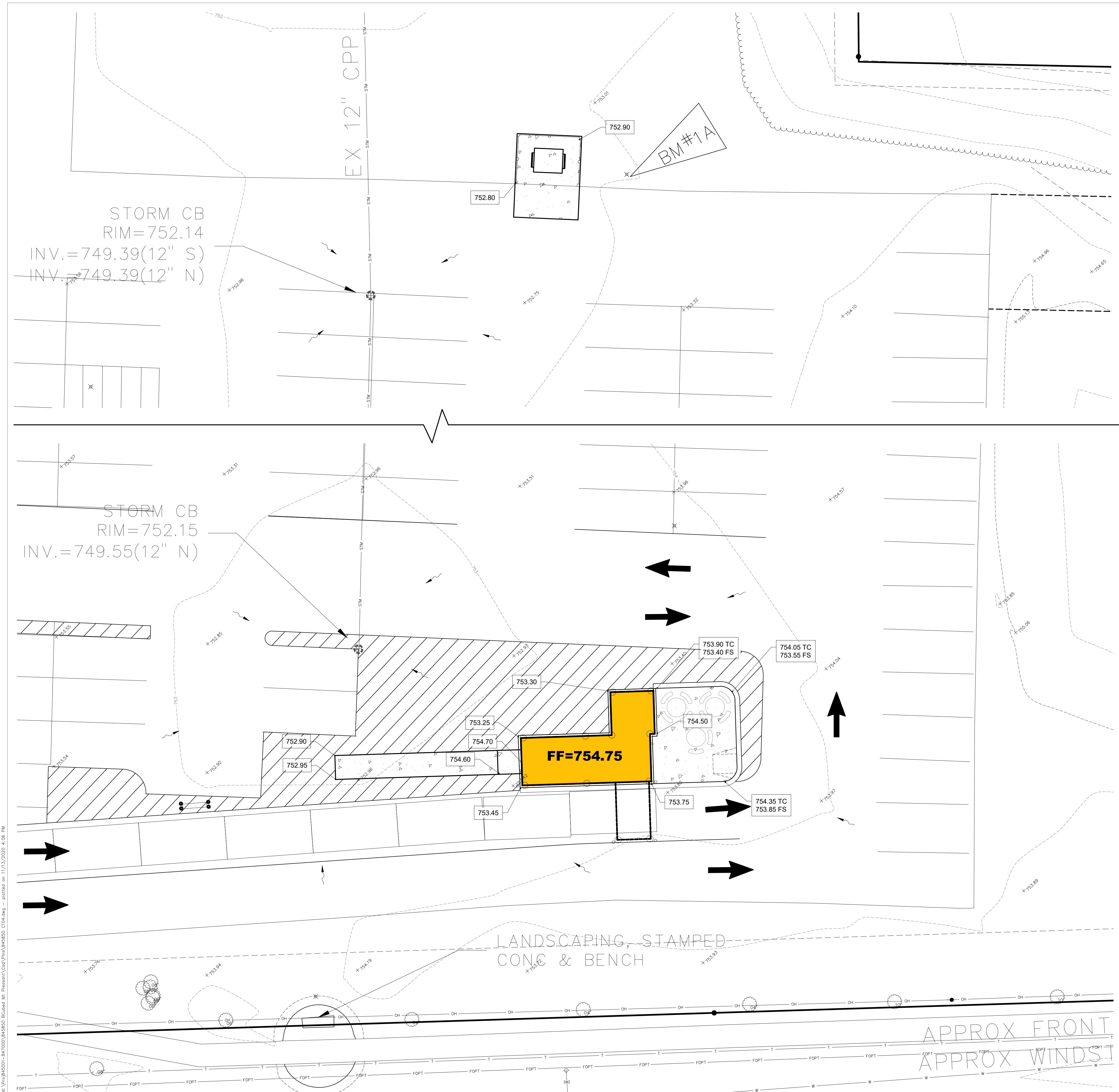
753.20 TC  
752.70 FS SPOT GRADE: TOP OF CURB / FINISH SURFACE

--- 753 --- EXISTING CONTOUR

⊗ INLET PROTECTION



**INLET PROTECTION FABRIC DROP**  
(SILT SACK)  
USE AT STORM WATER INLETS



**FLEISCHMANN**  
DESIGN. BUILD. OPERATE.

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F: 616.977.1005

**BCUBED**  
MANUFACTURING

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Alpena, MI 49707  
(877) 422-8233

REVISION:

**BIGGBY® COFFEE BCubed Drive-thru**  
E. Pickard Road  
Mt. Pleasant, MI  
**GRADING PLAN**

DESIGN TEAM: PROJ MGR: SC  
DESIGNED BY: MC  
DRAWN BY: RCL  
CHECK BY:

DRAWING INFORMATION:  
845850 C104  
111320 michaelc

**NOT FOR CONSTRUCTION**

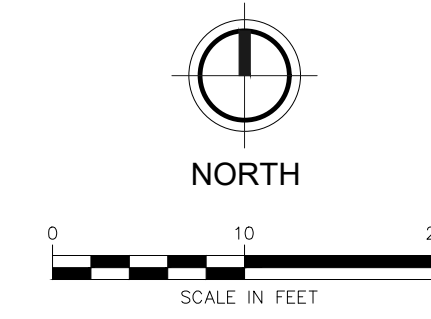
REV PROJECT NO:  
845850

**C104**

U:\Projects\84501-847000\845850\_Bigby\_Coffee\_Mt\_Pleasant\Drawings\Grading\C104.dwg - printed on 11/13/2020 4:06 PM



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REVISION:

**BIGGBY® COFFEE BCubed Drive-thru**  
E. Pickard Road  
Mt. Pleasant, MI  
**DETAILS**

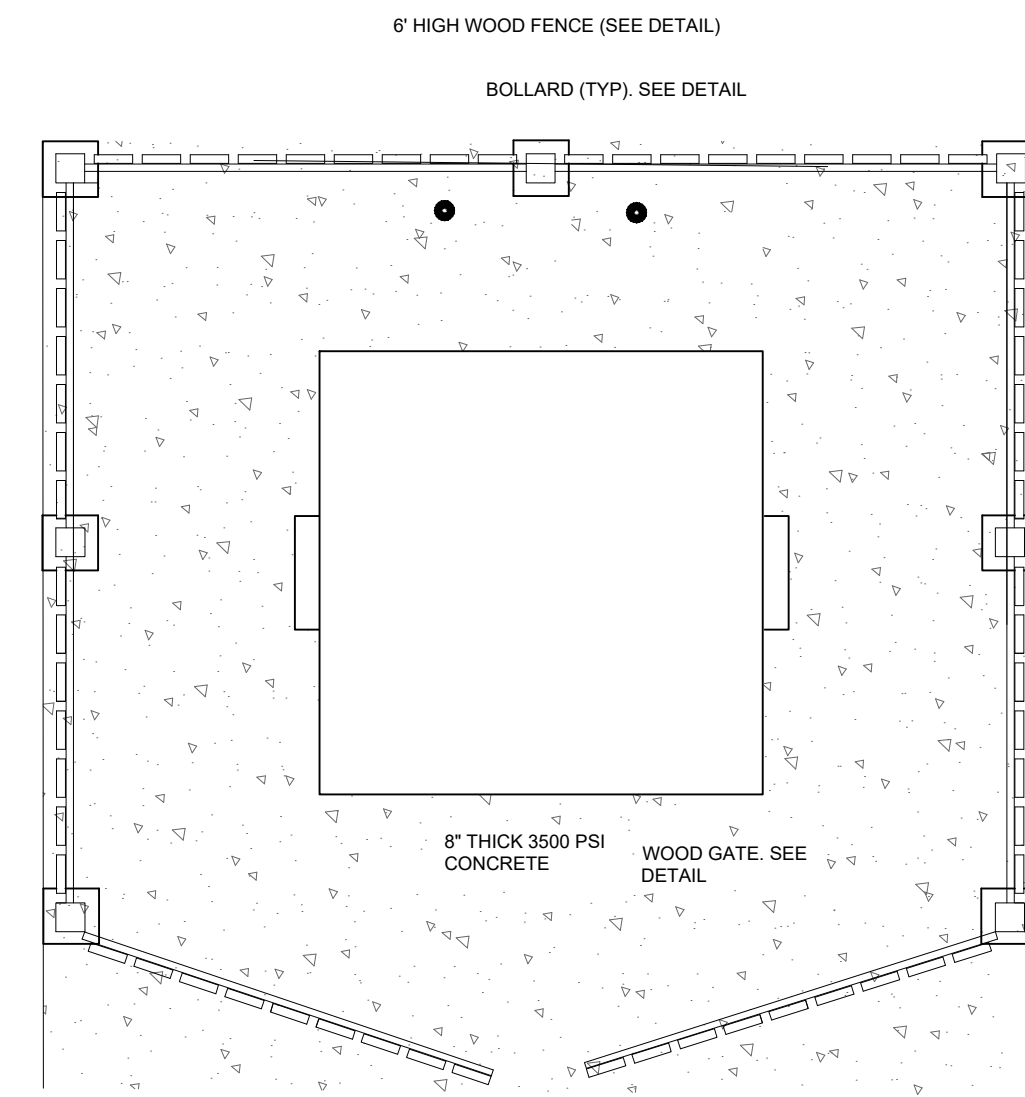
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DESIGNED BY: MC  
DRAWN BY: RCL  
CHECK BY:

DRAWING INFORMATION:  
845850 C105  
111220 michaelc

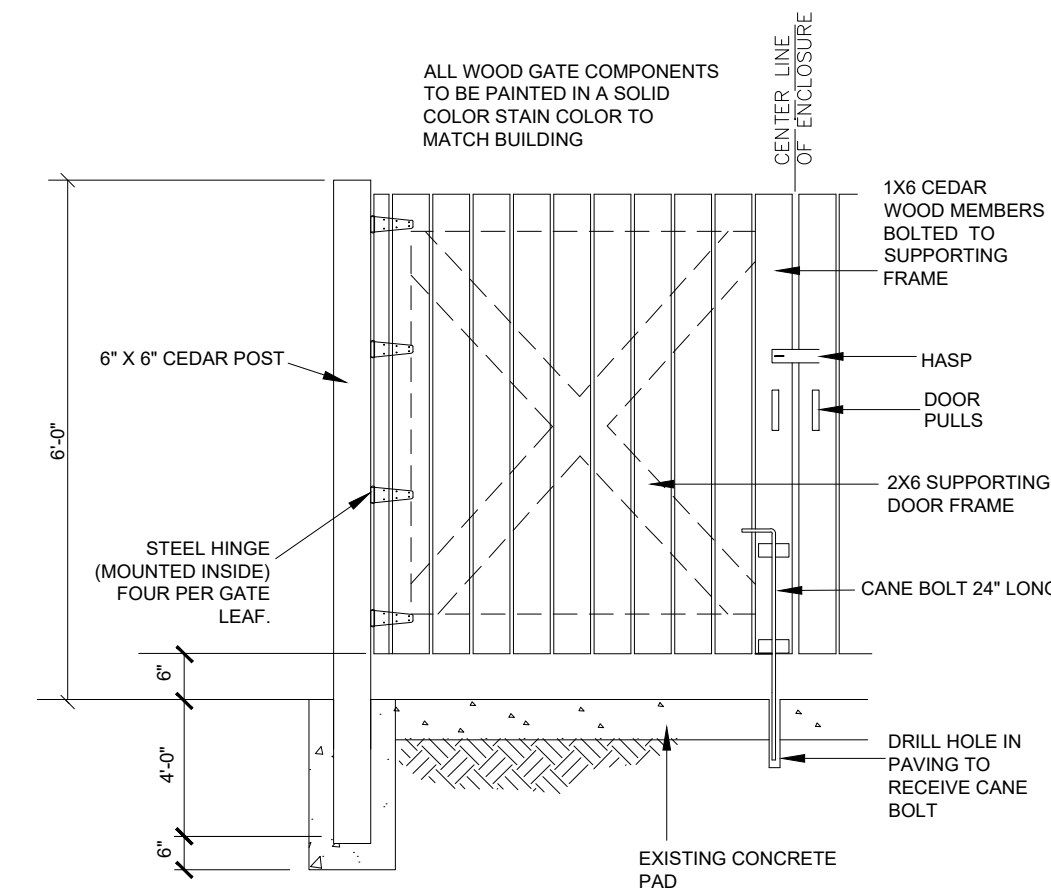
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F&V PROJECT NO.  
845850

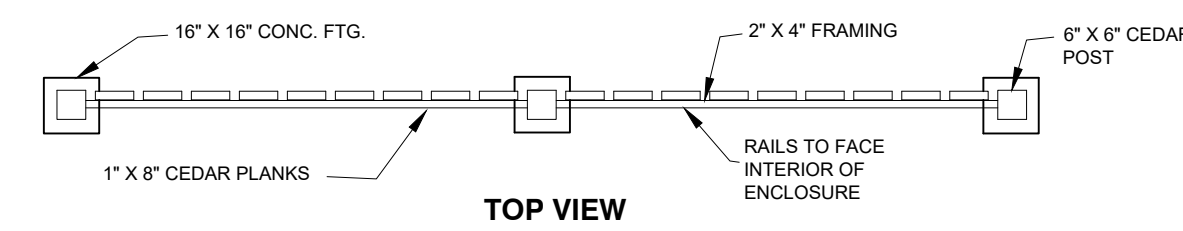
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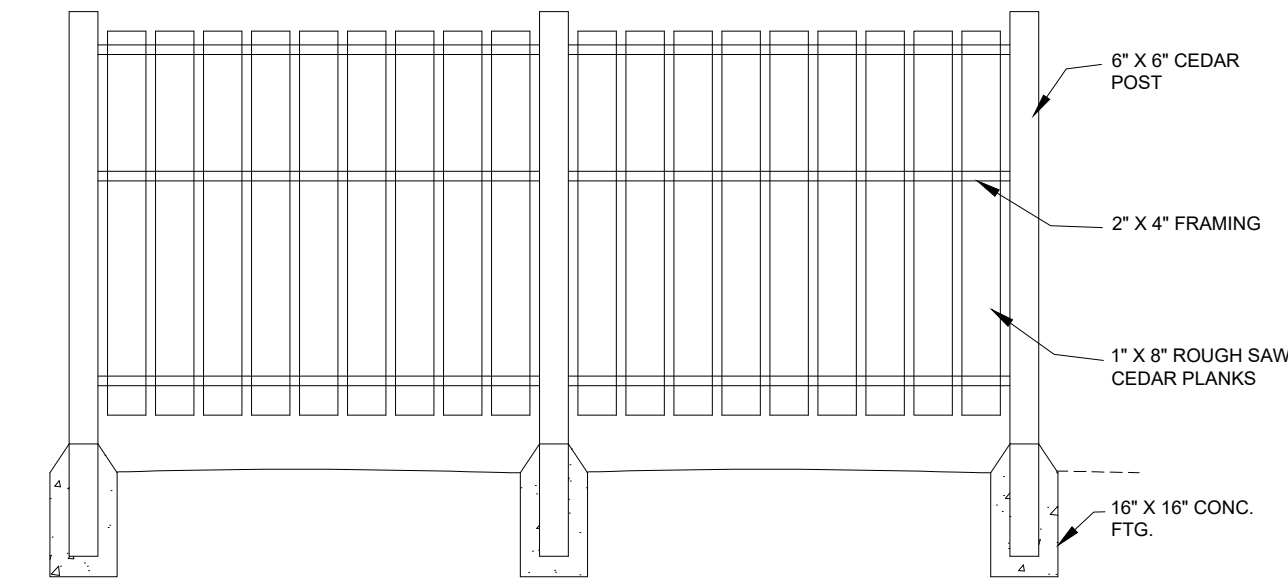
**TRASH ENCLOSURE DETAIL**  
NOT TO SCALE



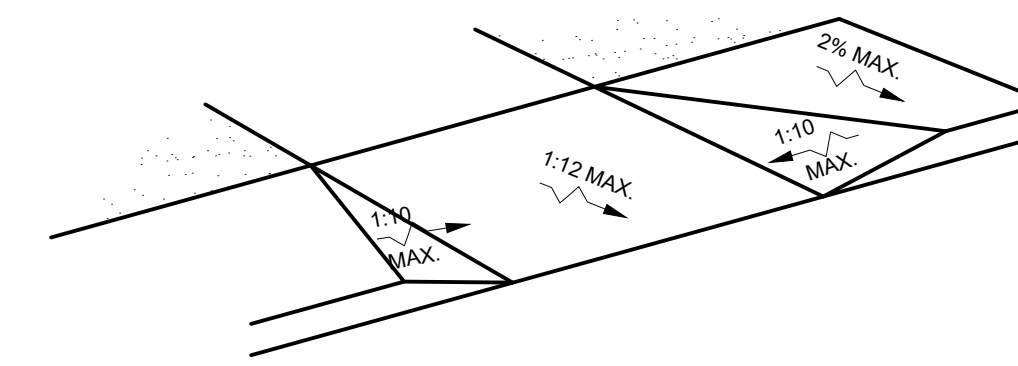
**TRASH ENCLOSURE GATE DETAIL**  
NOT TO SCALE



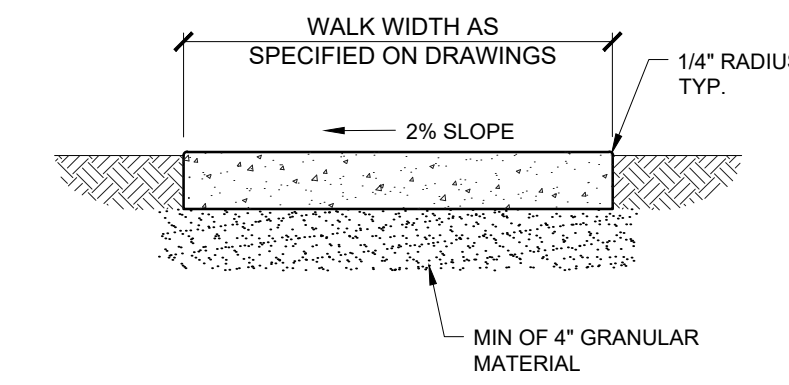
TOP VIEW



**WOOD FENCE TRASH ENCLOSURE DETAIL**  
NOT TO SCALE



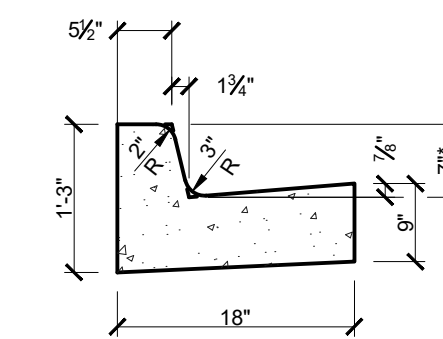
**CURB RAMP DETAIL**  
NOT TO SCALE



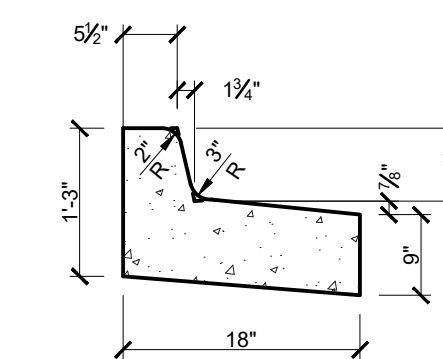
NOTES:

- 1/2\"/>
2. 1/2\"/>
3. INsofar AS POSSIBLE, SIDEWALK SHALL BE DIVIDED INTO SQUARE UNIT AREAS BY MEANS OF CUT CONTROL JOINTS NOT MORE THAN 36 SFT OR LESS THAN 16 SFT.

**4\"/>**

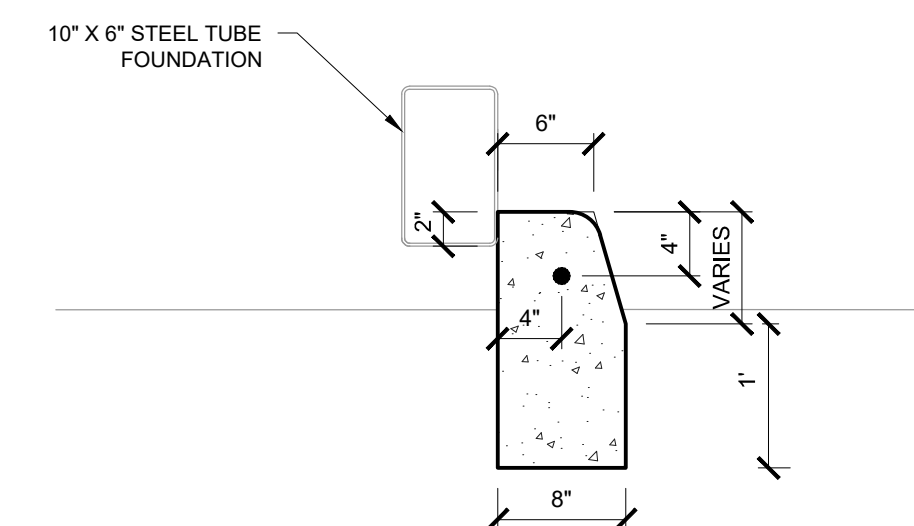


**TYPE C2 CURB AND GUTTER DETAIL**  
NOT TO SCALE



**TYPE C2 CURB MODIFIED REVERSE PAN GUTTER DETAIL**  
NOT TO SCALE

\* HEIGHT VARIES



**BUILDING CURB DETAIL**  
NOT TO SCALE













**Draft Motions: PSPR 20-17 Biggby Coffee**  
**Preliminary Site Plan Review Application**

**MOTION TO APPROVE:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to approve the PSPR 20-17 preliminary site plan from Reals-Palmer LLC for the construction of a new Biggby Coffee modular building, drive-through lane, and outdoor seating area on parcel number 14-012-04-007-07 located on the north side of E. Pickard Rd. between S. Summerton Rd. and the former Mid Michigan Community College building at 5805 E. Pickard Rd. in the southeast quarter of Section 12 and in the B-7 (Retail and Service Highway Business) zoning district, finding that the “November 2020” site plan fully complies with the applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval).

**MOTION TO APPROVE WITH CONDITIONS:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to approve the PSPR 20-17 preliminary site plan from Reals-Palmer LLC for the construction of a new Biggby Coffee modular building, drive-through lane, and outdoor seating area on parcel number 14-012-04-007-07 located on the north side of E. Pickard Rd. between S. Summerton Rd. and the former Mid Michigan Community College building at 5805 E. Pickard Rd. in the southeast quarter of Section 12 and in the B-7 (Retail and Service Highway Business) zoning district, finding that the “November 2020” site plan can comply with applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

1. Provide documentation of permission from the owner to utilize the adjacent land and driveway at 5805 E. Pickard Rd. for access to the facility with the final site plan submittal.
2. Add the sidewalk connection into the site from E. Pickard Rd. to the final site plan.
3. Update the parking, exterior lighting, and landscaping on the final site plan to conform to Zoning Ordinance requirements and add a specific revision date to the final site plan.
- 4a. Add the required new public sidewalk along the length of the S. Summerton Rd. frontage to the final site plan.

**[OR]**

- 4b. Add the new public sidewalk along the length of the S. Summerton Rd. frontage to the final site plan, but temporary relief is granted from construction of this new sidewalk because the applicant does not have leasehold rights to the entire parcel.
- 5a. Add a note to the final site plan confirming that the applicant will construct the access from S. Summerton Rd. within 90 calendar days of re-occupancy of the existing office building at 5805 E. Pickard Rd.

**[OR]**

- 5b. The future access from S. Summerton Rd. is not necessary and can be removed from the final site plan.

**Draft Motions: PSPR 20-17 Biggby Coffee**  
**Preliminary Site Plan Review Application**

**MOTION TO POSTPONE ACTION:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to postpone action on the PSPR 20-17 preliminary site plan from Reals-Palmer LLC for the construction of a new Biggby Coffee modular building, drive-through lane, and outdoor seating area on parcel number 14-012-04-007-07 until \_\_\_\_\_, 2021 for the following reasons:

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**MOTION TO DENY:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to deny the PSPR 20-17 preliminary site plan from Reals-Palmer LLC for the construction of a new Biggby Coffee modular building, drive-through lane, and outdoor seating area on parcel number 14-012-04-007-07 located on the north side of E. Pickard Rd. between S. Summerton Rd. and the former Mid Michigan Community College building at 5805 E. Pickard Rd. in the southeast quarter of Section 12 and in the B-7 (Retail and Service Highway Business) zoning district, finding that the "November 2020" site plan does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

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**SIDEWALK RELIEF REPORT**

<b>TO:</b>	Planning Commission	<b>DATE:</b>	December 7, 2020
<b>FROM:</b>	Peter Gallinat, Zoning Administrator	<b>ZONING:</b>	B-5 District
<b>PROJECT:</b>	Sidewalk Waivers		
<b>PARCELS:</b>	2260 E. Remus Rd 14-021-10-001-00; and 2467 E. Remus Rd. 14-016-30-005-03		
<b>OWNERS:</b>	Woodland Investments LLC; and Feight-Schuette Investments		
<b>LOCATIONS:</b>	0.66 acres on the SE corner of Remus and Rodgers, in the NW ¼ of Section 21; and 2.2 acres on NW corner of Remus and Bradley, in the NW ¼ of Section 21.		
<b>EXISTING USE:</b>	Office/storage and retail sales.	<b>ADJACENT ZONING:</b>	B-5
<b>FUTURE LAND USE DESIGNATION:</b>	<i>Commercial / Light Industrial.</i> This district is intended for a blend of medium intensity commercial and small-scale light industrial uses. Light industrial uses include but are not limited to small-scale manufacturing, laboratories, research and development firms, information technology firms, or other businesses that might be found in a technology park.		
<b>ACTION REQUESTED:</b>	To re-establish the previously granted temporary relief from sidewalk construction for the parcels at 2467 E. Remus Rd (Merchandise Outlet) and 2260 E. Remus Rd. (Woodland Investments).		

**Background Information**

The Township has had in effect a Sidewalks and Pathways Ordinance since 2010. Since that time sidewalks have been required to be shown on site plans. The Planning Commission at times has granted temporary relief from this requirement based on a set of policy priorities established for this purpose. This relief, when granted, has had the effect of delaying the timing of sidewalk construction for projects associated with these site plans.

In August of 2018, the Sidewalks and Pathways Prioritization Committee reviewed parcels which had been granted temporary relief from sidewalk construction during site plan approval by the Planning Commission. The committee prioritized the ending of this relief for parcels that were located on high priority roads as identified in the Township’s sidewalk policies.

**Landowner’s Request**

Doug Janes, owner of Woodland Investments LLC requested by letter that his property be given continued temporary relief. Mr. Janes has provided documents which show that the Michigan Department of Transportation (MDOT) is mandating that additional off-site sidewalk/intersection improvements be provided that have greatly increased the cost of the project. Township staff has also included 2467 E. Remus Rd. (Merchandise Outlet) in this request

due to the fact that the same issues will exist for that project as well.

### **Planned Township Project**

Earlier this year, the Sidewalks and Pathways Prioritization Committee identified the Remus Rd. (M-20) corridor between Bradley St. and S. Lincoln Rd. as a high priority for completing sidewalk construction in 2021. This area is part of the West Downtown Development Authority District, which is overseen by the Township's Economic Development Authority (EDA). Staff forwarded the committee's recommendation to the EDA Board, which chose to include funding for a sidewalk project in this area in their FY2021 recommended budget. This budget is currently under review by the Board of Trustees. If the budgeted funds receive final Board approval, the intent of this project would be to complete the sidewalks along both sides of Remus Rd.

The budgeted funds reflected completion of missing sections on the older development sites along this corridor (predominately developed years before the Sidewalk and Pathway Ordinance was adopted), with the understanding that these two parcels and the county Road Commission parcels (all subject to approved final site plans where sidewalk construction is required as part of the development) would complete their sections.

However, staff would concur with Mr. Janes opinion that it is unreasonable to require a private landowner to complete off-site improvements on property they do not own. The MDOT requirement for off-site improvements before a sidewalk permit can be issued by their office creates a Catch-22 situation for the business owners that is best resolved by allowing their projects to be incorporated into a comprehensive EDA-funded project.

### **Objective**

The Sidewalk and Pathways Committee is a sub-committee designated by Planning Commission to plan and prioritize new construction of sidewalks and pathways. The initial relief from sidewalk construction was granted by the Planning Commission and then reviewed by the Committee. The Planning Commission is to decide the status of when to continue the relief of recommend construction of sidewalks.

### **Key Findings**

1. These proposed sidewalk constructions would require the property owner to construct sidewalk on property not owned by the current property owner listed.
2. MDOT requirements for ADA-compliant ramps adversely effects these projects located on the M-20 state highway.
3. The Township's EDA Board has plans to make it a priority to construct sidewalks along Remus Rd. with EDA funds in the near future.

## Recommendations

Based on the above findings, I would ask that the Planning Commission take action to re-establish the temporary relief from sidewalk construction for 2260 E. Remus Rd. and 2467 E. Remus Rd. subject to the following conditions.

1. No new construction or modifications to either existing site requiring site plan approval is proposed, approved, and constructed. If so, sidewalk construction will be required at that time.

Please contact me at (989) 772-4600 ext. 241, or via email at [pgallinat@uniontownshipmi.com](mailto:pgallinat@uniontownshipmi.com), with any questions about this information.

Respectfully submitted,

***Peter Gallinat, Zoning Administrator***

Community and Economic Development Department



Sidewalk and Pathways Prioritization Committee recommends all site plans, within the boundaries of Union Township, will require sidewalks to be shown on the site plan. The Sidewalk and Pathways Prioritization Committee recommends to the Township Board and Planning Commission the following as it relates to the construction of sidewalks on parcels requiring a site plan.

#### I. Identification of Designated Streets for Sidewalk Construction

The Planning Commission will NOT grant a developer/owner of a parcel, with frontage along the designated streets, relief from the construction of a sidewalk as shown on the site plan. The goal is to develop sidewalks on both sides of the designated street.

- The designated streets were identified to complete sidewalks, to fill gaps with existing sidewalks to connect with city, and CMU property; to connect schools, parks, bus stops, activity centers, employment centers, retail, business, health care facilities, senior living centers, religious institutions, civic buildings, community services within the township.

Designated Streets (Identified on the Sidewalk map as developed by the Sidewalk and Pathways Prioritization Committee, March 2018.)

- North
  - **Pickard Road** from Lincoln to Township Boundary
    - Township parcels: Along **Crawford Road** North from Pickard to Mission Creek Park
- East
  - **Isabella Road** South from Pickard Road to Blue Grass
    - **Remus Road** (from Isabella Road east to 127)
    - **Remus Road** (from Isabella Road west to city limits)
- South
  - Township parcels:
    - **Broomfield Road** (east) - Gover Parkway to city line
    - **Broomfield Road** (west) - city line to Lincoln
      - Townships parcels: Crawford Road Broomfield to Deerfield
    - **Blue Grass** Isabella to Mission
- West
  - **Lincoln Road** north from Broomfield to Pickard
    - **Remus Road** (from Lincoln Road east to city limits)

#### II. Criteria for Granting Relief of Sidewalk Construction

Parcels not identified on a designated street may be granted provisional relief of sidewalk construction if any of the following conditions apply:

1. The development is located on a property zoned industrial.
2. The development is located on an unimproved road.
3. The development is located on property with road frontage where no car-pedestrian injury or fatality, due to the need of the pedestrian to walk in the roadway, has occurred for a distance of 1 mile in either direction of the development. A car-pedestrian accident within 1 mile of area provided relief from building the sidewalk will required sidewalk construction within 1 year.
4. Less than 50% of the surveyed sections of the township along the road fronting the proposed development has sidewalks. If on a corner lot, the mile will extend in both directions along the frontage roads. Once the threshold has been meet all parcels will be required to construct sidewalks within 1 year.
5. If the cost of the sidewalk construction exceeds more than 50% of the total cost of the project.

III. The Sidewalk and Pathways Prioritization Committee recommends to the Township Board

1. Property owners previously granted relief (waivers) to construct sidewalks that have road frontage along the designated streets, as identified by the committee on March 12, 2018, need to be contacted and a plan be developed for the sidewalk to be constructed with 2 years.
2. The designated streets, accompanying map, and the Criteria for Granting Relief should be reviewed yearly by the Sidewalk and Pathways Prioritization Committee and adjusted as conditions and growth occur with the township.

IV. Definitions

- a. Designated Street: A public way or road within The Charter Township of Union, Isabella County Michigan.
- b. Provisional: Provided for the time being; grant of relief is subject to later alteration.
- c. Relief: To eliminate the required construction of a sidewalk as shown on the site plan.
- d. Sidewalk: A paved path, usually concrete, located in a road right-a-way but away from the actual road surface and designed, constructed and designated for pedestrian travel. While Michigan law (MCL 257.660c and 257.660d) allows for travel on sidewalks or pathways by bicycle, provided they yield to pedestrians and do not impede traffic by pedestrians, adult cyclists are encouraged to use roadways or pathways as safer options.



**INDIVIDUAL CONSTRUCTION PERMIT**  
**For Operations within State Highway Right-of-Way**

**Issued To:**  
Doug Janes

2260 East Remus Road  
Mount Pleasant MI 48858

**Contact:**  
Doug Janes  
989-289-7733(O) 989-289-7733(Cell)  
doug@benefitconsulting.com

**Permit Number:** 37021-073067-20-102720

**Permit Type:** Individual Application

**Permit Fee:** \$30.00

**Effective Date:** Oct 27, 2020 to Oct 27, 2021

**Bond Numbers:**

**Liability Insurance Expiration Date:** Apr 01, 2021

**Contractor:**

The Isabella Corporation

2201 Commerce St  
Mount Pleasant MI 48858

**Contact:**

Byron Jubeck

989-289-7733(O) 989-224-5038(Cell)  
bjubeck@isabellacorporation.

**THIS PERMIT IS VALID ONLY FOR THE FOLLOWING PROPOSED OPERATIONS:**

**PURPOSE:**

Install concrete sidewalk per Union Township requirements

**STATE ROUTE:** M-20      **TOWNSHIP OF:** Union      **COUNTY:** Isabella County

<b>NEAREST INTERSECTION:</b>	<b>SIDE OF ROAD:</b>	<b>DISTANCE TO NEAREST INTERSECTION:</b>	<b>(in feet)</b>	<b>DIRECTION TO NEAREST INTERSECTION:</b>
Rogers Road	S	0.00		East

<b>CONTROL SECTION:</b>	<b>MILE POINT FROM:</b>	<b>MILE POINT TO:</b>	<b>LOCATION:</b>			
			LEFT	MEDIAN	RIGHT	TRANSVERSE
37021	13.700	14.300	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**REQUISITION NUMBER:**      **WORK ORDER NUMBER:**      **MDOT JOB NUMBER:**      **ORG JOB NUMBER:**



37021-073067-20-102720 Issued To: Doug Janes

This permit is incomplete without "General Conditions and Supplemental Specifications"

I certify that I accept the following:

1. I am the legal owner of this property or facility, the owner's authorized representative, or have statutory authority to work within state highway Right-of-Way.
2. Commencement of work set forth in the permit application constitutes acceptance of the permit as issued.
3. Failure to object, **within ten (10) days** to the permit as issued constitutes acceptance of the permit as issued.
4. If this permit is accepted by either of the above methods, I will comply with the provisions of the permit.
5. I agree that Advance Notice for Permitted Activities for shall be submitted **5 days prior** to the commencement of the proposed work.  
I agree that Advance Notice for Permitted Utility Tree Trimming and Tree Removal Activities shall be submitted **15 days prior** to the commencement of the proposed work for an annual permit.

**CAUTION**

**Work shall NOT begin until the Advance Notice has been approved.  
Failure to submit the advance notice may result in a Stop Work Order.**

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<b>Doug Janes</b>	<b>Michael Loynes</b>	October 27, 2020
	MDOT	Approved Date

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<b>TSC Contact Info</b>	<b>Mt. Pleasant TS</b>	<b>(989) 773-7756</b>
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THE STANDARD ATTACHMENTS, ATTACHMENTS AND SPECIAL CONDITIONS MARKED BELOW ARE A PART OF THIS PERMIT.

STANDARD ATTACHMENTS:

- 1 General Conditions for Permit (General Conditions)

ADDITIONAL ATTACHMENTS:

- 1 2260 E. Remus Road Site Plan for Doug Janes.pdf
- 2 1610-152 DOUG JANES\_compressed.pdf
- 3 Maintenance Work Zone Traffic Control Guidelines 2007.pdf

AMENDMENT ATTACHMENTS:

**37021-073067-20-102720 Issued To: Doug Janes**

**SPECIAL CONDITIONS:**

- 1 All disturbed areas within the right of way shall be top-soiled, seeded and mulched to match existing areas per current MDOT standards and specifications.
- 2 per our phone conversation today the intersections needs to be ADA compliant with a landing on both sides of road.

<b>List of Devices</b>				
<b>Number of SCWF</b>	<b>Applicant Device ID Number</b>	<b>Latitude</b>	<b>Longitude</b>	<b>Active Indicator(Y/N)</b>
0				



2201 Commerce Drive  
Mt. Pleasant, MI 48858

Ph: (989) 772-5890  
Fax: (989) 773-2978

MDOT Contractor Code: 03260



# Quotation

Date: April 20, 2020

<b>Project Name:</b>
2260 E. Remus Road Union Township

## SITE CONCRETE BASE BID

LINE	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	AMOUNT
	Install Approximately 90' of 5' Sidewalk	Lsum	1.00	\$2,500.00	\$2,500.00

<b>TOTAL:</b>	<b>\$2,500.00</b>
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### CONDITIONS:

- > Quote does Not Include Prevailing Wages
- > Concrete Quality Control Testing is NOT included
- > Concrete subbase, +/- 0.1' furnished and installed by others.
- > Quote does not include permits or bond costs
- > Quote does not include staking
- > Quote does not include traffic or flag control
- > Quote does not include night work
- > Quote does not include winter protection

Byron Jubeck  
Cell: (989) 224-5038  
Email: bjubeck@isabellacorporation.com

ACCEPTED: \_\_\_\_\_

DATE: \_\_\_\_\_





2201 Commerce Drive  
Mt. Pleasant, MI 48858

Ph: (989) 772-5890  
Fax: (989) 773-2978

MDOT Contractor Code: 03260



# Quotation

Date: October 20, 2020

<b>Project Name:</b>
2260 E. Remus Road Union Township

## SITE CONCRETE BASE BID

LINE	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	AMOUNT
	Install Approximately 90' of 5' Sidewalk	Lsum	1.00	\$2,500.00	\$2,500.00
	Curb Cut Across Rogers Road	Lsum	2.00	\$500.00	\$1,000.00
	Detectable Warning Plate	Lsum	2.00	\$350.00	\$700.00
	Additional Sidewalk Ramp E. Side of Rogers	Lsum	1.00	\$800.00	\$800.00

<b>TOTAL:</b>	<b>\$5,000.00</b>
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### CONDITIONS:

- > Quote does Not Include Prevailing Wages
- > Concrete Quality Control Testing is NOT included
- > Concrete subbase, +/- 0.1' furnished and installed by others.
- > Quote does not include permits or bond costs
- > Quote does not include staking
- > Quote does not include traffic or flag control
- > Quote does not include night work
- > Quote does not include winter protection

**Byron Jubeck**  
Cell: (989) 224-5038  
Email: bjubeck@isabellacorporation.com

ACCEPTED:

DATE:

Douglas Janes  
Woodland Investments, LLC  
PO Box 526  
Mt Pleasant, MI 48804-0526  
989-289-7733

Rodney Nanney

Union Township

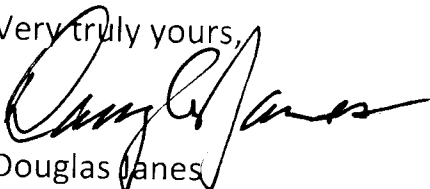
RE: 2260 E Remus Rd

I hereby request the restoration of the temporary relief previously granted for the development project on the Woodland Investments LLC property at 2260 E. Remus Rd. (parcel ID 14-021-10-001-00). I have included with this letter the original quote for the sidewalk construction provided by Isabella Corporation. Subsequent to the also attached MDOT permit demanding ADA compliant landings on both side of Rogers Road the cost of the project increased substantially. I have included a copy of the amended quote for the project provided by Isabella Corporation.

Obviously a simple sidewalk as requested by Union Township became a project which is not in my control. I cannot make modifications to the east side of Roger's Rd as I do not own the property. It also is not my responsibility to make the modification to another person's property. The substantial additional cost and the inability to meet the modifications mandated in the permit makes this project unreasonable at this time. Therefore please grant relief for the development of the project.

If you have any additional questions please let me know. Otherwise I look forward to your confirmation of my request.

Very truly yours,



Douglas Janes

**Draft Motions: Request for Re-Establishment of Temporary Relief from Sidewalk Construction at 2260 and 2467 E. Remus Rd.**

**MOTION TO APPROVE:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to approve the request to re-establish the previously granted temporary relief from sidewalk construction for the parcels at 2467 E. Remus Rd. (Merchandise Outlet) and 2260 E. Remus Rd. (Woodland Investments) in the B-5 (Highway Business) zoning district because the MDOT requirements would unreasonably require the property owner to construct improvements on property not owned by the current property owner, and because the EDA Board has included funds for some additional sidewalks along Remus Rd. in their FY2021 recommended budget.

**MOTION TO APPROVE WITH CONDITIONS:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to approve the request to re-establish the previously granted temporary relief from sidewalk construction for the parcels at 2467 E. Remus Rd. (Merchandise Outlet) and 2260 E. Remus Rd. (Woodland Investments) in the B-5 (Highway Business) zoning district because the MDOT requirements would unreasonably require the property owner to construct improvements on property not owned by the current property owner, and because the EDA Board has included funds for some additional sidewalks along Remus Rd. in their FY2021 recommended budget, subject to the following condition(s):

1. No new construction or modifications to either existing site requiring site plan approval is proposed, approved, and constructed. If so, sidewalk construction will be required at that time.

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**MOTION TO POSTPONE ACTION:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to postpone action on the request to re-establish the previously granted temporary relief from sidewalk construction for the parcels at 2467 E. Remus Rd. and 2260 E. Remus Rd. until \_\_\_\_\_, 2021 for the following reasons:

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**Draft Motions: Request for Re-Establishment of Temporary Relief from Sidewalk Construction at 2260 and 2467 E. Remus Rd.**

**MOTION TO DENY:**

Motion by \_\_\_\_\_, supported by \_\_\_\_\_, to deny the request to re-establish the previously granted temporary relief from sidewalk construction for the parcels at 2467 E. Remus Rd. (Merchandise Outlet) and 2260 E. Remus Rd. (Woodland Investments) in the B-5 (Highway Business) zoning district for the following reasons:

1. Construction of the new sidewalk on the subject parcels is a requirement of the Sidewalk and Pathway Ordinance and the approved site plans for the developments associated with these parcels.
2. Remus Rd. (M-20) is designated as a high priority street for sidewalk construction in the Township's adopted Sidewalks Waiver Policy.
3. The subject parcels do not meet the criteria listed in part II of the policy for the granting of temporary relief from construction.

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